



Town of Wallingford, Connecticut

JAMES SEICHTER
CHAIRMAN-PLANNING & ZONING COMMISSION

KACIE A. HAND, A.I.C.P.
TOWN PLANNER

WALLINGFORD TOWN HALL
45 SOUTH MAIN STREET
WALLINGFORD, CT 06492
TELEPHONE (203) 294-2090
FAX (203) 294-2095

CERTIFIED LETTER

#7019-0160-0000-2663-7066

February 24, 2020

Jeff Dewey, P.E.
BL Companies
355 Research Parkway
Meriden, CT 06450

RE: Notification of Public Hearing – Special Permit Application #414-19
425 and 528 South Cherry Street

Gentlemen:

Enclosed is your copy of the Legal Notice for the Planning and Zoning Commission's meeting of **Wednesday, March 11, 2020.**

Because you have applied for a Special Permit, Wallingford Zoning Regulations require that:

You send a copy of the enclosed notice using U.S.P.S. Certificates of Mailing* to all property owners whose property abuts yours, including those across the street, 10 to 15 days prior to the meeting. In your case this is between Monday, February 24, 2020 and Friday, February 28, 2020.**

Per Section 7.5.D of the Wallingford Zoning Regulations you are also required to erect a sign(s) on the property abutting the street(s) notifying the public in general about your application.

The precise details concerning the sign and neighbor notification are contained on the enclosed sheet.

If you have any questions regarding this matter, please contact this office at 203-294-2090.

Sincerely,

Kacie A. Hand

Kacie A. Hand
Town Planner
KAH:ss
Enclosures

***** PLEASE NOTE: Certificates of Mailing are not the same as Certified Mail and they are less costly.**

WALLINGFORD ZONING REGULATIONS
§7.5.D.

SPECIAL PERMIT NOTICE REQUIREMENTS

The applicant shall erect or cause to have erected a sign(s) on the property affected by the proposed Special Permit at least ten (10) days prior to the public hearing on such Special Permit. If more than one street abuts the property, a sign shall be erected next to, and shall be clearly visible from, each abutting street. Each sign shall be a minimum of four by five (4X5) feet with black lettering no smaller than three by one-half (3 X ½) inches on a white background. Each sign shall be weather resistant, securely fastened or staked, be clearly visible from the streets abutting the applicant's property and be maintained as such until the day following the public hearing. For purposes of this section only, street shall include unaccepted streets for which the Town has no maintenance responsibility and shall include any streets shown on a subdivision plan approved by the Commission on which the bond for required public improvements has been posted and on file in the Town Clerk's office.

The sign shall contain the following information:

PUBLIC NOTICE

AN APPLICATION FOR A SPECIAL PERMIT FOR A (TYPE OF USE) HAS BEEN FILED WITH THE PLANNING AND ZONING COMMISSION. A PUBLIC HEARING WILL BE HELD ON SAID PETITION ON (DATE OF HEARING) IN TOWN HALL. FOR MORE INFORMATION, CONTACT THE WALLINGFORD PLANNING DEPARTMENT AT 294-2090.

Each application for a Special Permit shall include a list, prepared by the applicant, of the names and mailing addresses of the owners of all of the properties abutting the applicant's property as shown in the most recent records on file in the Town Tax Assessor's office (or the actual owner of record if otherwise known to the applicant). Abutting property owners shall include owners located directly across the streetline as well as contiguous property owners. The applicant shall mail notification of said pending application to at least one owner of each such property not more than fifteen (15) days or less than ten (10) days before the date set for the public hearing, by transmitting the text of the public hearing notice as provided by the Commission. Evidence of such mailing, in the form of United States Postal Service Certificates of Mailing, shall be submitted to the Planning office along with the above-said list of property owners, not less than five (5) calendar days prior to the hearing date. Failure to comply with any of the procedures required herein shall be deemed valid basis for denial of a Special Permit request.



Town of Wallingford, Connecticut

JAMES SEICHTER
CHAIRMAN-PLANNING & ZONING COMMISSION

KACIE A. HAND, A.I.C.P.
TOWN PLANNER

WALLINGFORD TOWN HALL
45 SOUTH MAIN STREET
WALLINGFORD, CT 06492
TELEPHONE (203) 294-2090
FAX (203) 294-2095

LEGAL NOTICE

The following Public Hearings will be heard at the Wallingford Planning and Zoning Commission's meeting of **WEDNESDAY**, March 11, 2020 at 7:00 p.m. in the Robert F. Parisi Council Chambers of Town Hall, 45 South Main Street.

1. **#414-19** – Special Permit (traffic generator) for J. Dewey (on behalf of BL Companies) for a warehouse/distribution center at 425 South Cherry Street with associated additional van parking at 425 South Cherry Street and 528 South Cherry Street (Allnex).
2. **#501-20**- A Zoning Text Amendment for Demartino Colony Realty, LLC to modify Section 4.25 (Housing Opportunity District-General (HOD-G)) of the Wallingford Zoning Regulations

WALLINGFORD PLANNING AND ZONING COMMISSION



ROCCO MATARAZZO, SECRETARY

DATED AT WALLINGFORD

February 24, 2020

PUBLICATION DATES

February 26, 2020

March 3, 2020

Individuals in need of auxiliary aids for effective communication in programs and services of the Town of Wallingford are invited to make their needs and preferences known to the ADA Compliance Coordinator at 203-294-2070 five (5) days prior to meeting date



Town of Wallingford, Connecticut

JAMES SEICHTER
CHAIRMAN-PLANNING & ZONING COMMISSION

KACIE A. HAND, A.I.C.P.
TOWN PLANNER

WALLINGFORD TOWN HALL
45 SOUTH MAIN STREET
WALLINGFORD, CT 06492
TELEPHONE (203) 294-2090
FAX (203) 294-2095

CERTIFIED LETTER

#7019-0160-0000-2663-6991

January 22, 2020

Jeffrey Dewey
BL Companies
355 Research Parkway
Meriden, CT 06450

RE: Notification of Public Hearing – Special Permit Application #414-19
425 South Cherry Street

Dear Mr. Dewey:

Enclosed is your copy of the Legal Notice for the Planning and Zoning Commission's meeting of **Monday, February 10, 2020.**

Because you have applied for a Special Permit, Wallingford Zoning Regulations require that:

You send a copy of the enclosed notice using U.S.P.S. Certificates of Mailing* to all property owners whose property abuts yours, including those across the street, 10 to 15 days prior to the meeting. In your case this is between Monday, January 27, 2020 and Friday, January 31, 2020.**

Per Section 7.5.D of the Wallingford Zoning Regulations you are also required to erect a sign(s) on the property abutting the street(s) notifying the public in general about your application.

The precise details concerning the sign and neighbor notification are contained on the enclosed sheet.

If you have any questions regarding this matter, please contact this office at 203-294-2090.

Sincerely,

Kacie A. Hand

Kacie A. Hand
Town Planner
KAH:ss
Enclosures

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Town of Wallingford, Connecticut

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LEGAL NOTICE

The following Public Hearings will be heard at the Wallingford Planning and Zoning Commission's meeting of Monday, February 10, 2020 at 7:00 p.m. in the Robert F. Parisi Council Chambers of Town Hall, 45 South Main Street.

1. **#414-19** – Special Permit (traffic generator) to allow J. Dewey on behalf of BL Companies to conduct a warehouse/distribution center at 425 South Cherry Street
2. **#401-20**- Special Permit (Auto Dealer/Repairer) 1254 South Broad Street, LLC to permit vehicle Storage for an off-site car dealer at 1254 South Broad Street
3. **#501-20**- A Zoning Text Amendment by Demartino Colony Realty, LLC for Sections 4.25.B.2, 4.25.C.3 and 4.25.D.7 pertaining to the Housing Opportunity District-General (HOD-G) section of the Wallingford Zoning Regulations
4. **#402-20**- Special Permit for Fill & Excavation for 12 Old North Colony Properties at 12 Old Colony Road
5. **#403-20**-Special Permit for Fill & Excavation for 1070 North Farms Road, LLC at 1121 Northrop Road

WALLINGFORD PLANNING AND ZONING COMMISSION


ROCCO MATARAZZO, SECRETARY

DATED AT WALLINGFORD

January 15, 2020

PUBLICATION DATES

January 28, 2020

February 4, 2020

Individuals in need of auxiliary aids for effective communication in programs and services of the Town of Wallingford are invited to make their needs and preferences known to the ADA Compliance Coordinator at 203-294-2070 five (5) days prior to meeting date.

WALLINGFORD ZONING REGULATIONS
§7.5.D.

SPECIAL PERMIT NOTICE REQUIREMENTS

The applicant shall erect or cause to have erected a sign(s) on the property affected by the proposed Special Permit at least ten (10) days prior to the public hearing on such Special Permit. If more than one street abuts the property, a sign shall be erected next to, and shall be clearly visible from, each abutting street. Each sign shall be a minimum of four by five (4X5) feet with black lettering no smaller than three by one-half (3 X ½) inches on a white background. Each sign shall be weather resistant, securely fastened or staked, be clearly visible from the streets abutting the applicant's property and be maintained as such until the day following the public hearing. For purposes of this section only, street shall include unaccepted streets for which the Town has no maintenance responsibility and shall include any streets shown on a subdivision plan approved by the Commission on which the bond for required public improvements has been posted and on file in the Town Clerk's office.

The sign shall contain the following information:

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Town of Wallingford, Connecticut

JAMES SEICHTER
CHAIRMAN-PLANNING & ZONING COMMISSION

KACIE A. HAND, A.I.C.P.
TOWN PLANNER

WALLINGFORD TOWN HALL
45 SOUTH MAIN STREET
WALLINGFORD, CT 06492
TELEPHONE (203) 294-2090
FAX (203) 294-2095

CERTIFIED LETTER

#7018-3090-0000-2770-5515

December 26, 2019

Jeffrey Dewey
BL Companies
355 Research Parkway
Meriden, CT 06450

FILE COPY

RE: Notification of Public Hearing – Special Permit Application #414-19
425 South Cherry Street

Dear Mr. Dewey:

Enclosed is your copy of the Legal Notice for the Planning and Zoning Commission's meeting of **Monday, January 13, 2020.**

Because you have applied for a Special Permit, Wallingford Zoning Regulations require that:

You send a copy of the enclosed notice using U.S.P.S. Certificates of Mailing* to all property owners whose property abuts yours, including those across the street, 10 to 15 days prior to the meeting. In your case this is between Monday, December 30, 2019 and Friday, January 3, 2020.**

Per Section 7.5.D of the Wallingford Zoning Regulations you are also required to erect a sign(s) on the property abutting the street(s) notifying the public in general about your application.

The precise details concerning the sign and neighbor notification are contained on the enclosed sheet.

If you have any questions regarding this matter, please contact this office at 203-294-2090.

Sincerely,

Kacie A. Hand

Kacie A. Hand
Town Planner
KAH:ss
Enclosures

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WALLINGFORD ZONING REGULATIONS
§7.5.D.

SPECIAL PERMIT NOTICE REQUIREMENTS

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Town of Wallingford, Connecticut

JAMES SEICHTER
CHAIRMAN-PLANNING & ZONING COMMISSION

KACIE A. HAND, A.I.C.P.
TOWN PLANNER

WALLINGFORD TOWN HALL
45 SOUTH MAIN STREET
WALLINGFORD, CT 06492
TELEPHONE (203) 294-2090
FAX (203) 294-2095

LEGAL NOTICE

The following Public Hearing will be heard at the Wallingford Planning and Zoning Commission's meeting of Monday, January 13, 2020 at 7:00 p.m. in the Robert F. Parisi Council Chambers of Town Hall, 45 South Main Street.

1. **#414-19** – Special Permit (traffic generator) to allow J. Dewey on behalf of BL Companies to create a warehouse & distribution center at 425 South Cherry Street.

WALLINGFORD PLANNING AND ZONING COMMISSION


ROCCO MATARAZZO, SECRETARY

DATED AT WALLINGFORD
December 13, 2019

PUBLICATION DATES
December 31, 2019
January 7, 2020

Individuals in need of auxiliary aids for effective communication in programs and services of the Town of Wallingford are invited to make their needs and preferences known to the ADA Compliance Coordinator at 203-294-2070 five (5) days prior to meeting date.



Town of Wallingford, Connecticut

FILE COPY

JAMES SEICHTER
CHAIRMAN-PLANNING & ZONING COMMISSION

KACIE A. HAND, A.I.C.P.
TOWN PLANNER

WALLINGFORD TOWN HALL
45 SOUTH MAIN STREET
WALLINGFORD, CT 06492
TELEPHONE (203) 294-2090
FAX (203) 294-2095

CERTIFIED LETTER

#7018-3090-0000-2770-5461

November 20, 2019

Jeffrey Dewey
BL Companies
355 Research Parkway
Meriden, CT 06450

RE: Notification of Public Hearing – Special Permit Application #414-19
425 South Cherry Street

Dear Mr. Dewey:

Enclosed is your copy of the Legal Notice for the Planning and Zoning Commission's meeting of **Monday, December 9, 2019.**

Because you have applied for a Special Permit, Wallingford Zoning Regulations require that:

You send a copy of the enclosed notice using U.S.P.S. Certificates of Mailing* to all property owners whose property abuts yours, including those across the street, 10 to 15 days prior to the meeting. In your case this is between Monday, November 25, 2019 and Friday, November 29, 2019.**

Per Section 7.5.D of the Wallingford Zoning Regulations you are also required to erect a sign(s) on the property abutting the street(s) notifying the public in general about your application.

The precise details concerning the sign and neighbor notification are contained on the enclosed sheet.

If you have any questions regarding this matter, please contact this office at 203-294-2090.

Sincerely,

Kacie A. Hand

Kacie C. Hand
Town Planner
KAH:ss
Enclosures

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Town of Wallingford, Connecticut

JAMES SEICHTER
CHAIRMAN-PLANNING & ZONING COMMISSION

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45 SOUTH MAIN STREET
WALLINGFORD, CT 06492
TELEPHONE (203) 294-2090
FAX (203) 294-2095

LEGAL NOTICE

The following Public Hearing will be heard at the Wallingford Planning and Zoning Commission's meeting of Monday, December 9, 2019 at 7:00 p.m. in the Robert F. Parisi Council Chambers of Town Hall, 45 South Main Street.

1. #414-19 – Special Permit (traffic generator)/warehouse & distribution center for J. Dewey on behalf of BL Companies/425 South Cherry Street

WALLINGFORD PLANNING AND ZONING COMMISSION



ROCCO MATARAZZO, SECRETARY

DATED AT WALLINGFORD
November 19, 2019

PUBLICATION DATES
November 26, 2019
December 03, 2019

Individuals in need of auxiliary aids for effective communication in programs and services of the Town of Wallingford are invited to make their needs and preferences known to the ADA Compliance Coordinator at 203-294-2070 five (5) days prior to meeting date.

WALLINGFORD ZONING REGULATIONS

§7.5.D.

SPECIAL PERMIT NOTICE REQUIREMENTS

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ZA

An Employee-Owned Company

December 2, 2019

Kacie Hand (Town Planner)
Town of Wallingford
45 South Main Street, Room #G-40
Wallingford, CT 06492

RECEIVED

DEC - 2 2019

WALLINGFORD
PLANNING & ZONING

Re: Special Permit Application Hearing Postponement
425 South Cherry Street

Kacie;

Please accept this letter as an agreement to postpone the hearing to the January meeting so that the peer review of the provided traffic report may be completed.

Should you have any questions or comments, feel free to contact me at your convenience.

Thank you and have a great day!

Sincerely;

A handwritten signature in black ink, appearing to read 'JP. Dewey'.

Jeffrey P. Dewey, PE
Senior Engineer II



Town of Wallingford, Connecticut **ZA**

JAMES SEICHTER
CHAIRMAN-PLANNING & ZONING COMMISSION

KACIE A. HAND, A.I.C.P.
TOWN PLANNER

WALLINGFORD TOWN HALL
45 SOUTH MAIN STREET
WALLINGFORD, CT 06492
TELEPHONE (203) 294-2090
FAX (203) 294-2095

December 31, 2019

Jeffrey Dewey
BL Companies
355 Research Parkway
Meriden, CT 06450

RE: Site Plan Application #414-19
425 South Cherry Street

Gentlemen:

This office has the following comments/questions regarding the submitted application and associated plans:

1. There are certain existing non-conformities on the site, which are "grandfathered" under existing conditions. However, typically when site modifications improvements/expansion is proposed, the entire site plan becomes subject to the current zoning regulations and the site is required to be brought into compliance to the entire extent physically possible. This is particularly true of expectations when a Special Permit is required and a high level of discretion exists. Any non-conforming components of the site should be brought into compliance.
2. The listed use on the plans is "Delivery Station Building." What is this? How does it function? Please explain in detail how the site will work, including general levels of turnover of vans, trucks, etc.
3. In regard to primary uses, there also appears to be a significant van storage area, where vans are kept, and drivers park their vehicles and retrieve their vans. This office believes that another primary use on the site falls under the trucking terminal category. Parking requirements associated with this would be in addition to the parking requirements associated with the building use.
4. This office has concerns about the proposed level of activity for the site and the ability to meet all needs on the site, particularly given the restrictions of items #1 and #3 above, as well as the interactions of the different vehicles and the proximity of various site entrances/exits to one another.
5. The existing gravel area along South Cherry Street was approved as a temporary lay-down and trailer area during the construction of a BYK project. Upon completion of the project, or removal of the items from the gravel area, the area was to be restored to a landscaped/grassed area. This is now a zoning violation. The subject plan would address this issue; regardless of this project, the issue will need to be addressed.
6. Will the overhead doors along South Cherry Street be removed?
7. Traffic/circulation and parking:
 - a. As you are aware, you have agreed to a peer review of your traffic study, as is typically required by the Planning and Zoning Commission. The Peer Review will provide a more detailed analysis of your traffic study and the traffic impacts. However, this office's initial comments/questions are listed below.
 - b. Is it really safe for 5 vans to exit via one driveway at one time? Please further explain how this will work.
 - c. Additional information should be provided in order to fully understand the site operations and associated claimed trip generation and amount of parking being proposed. Much of this is still unclear. For example:

- Please provide a Trip Generation graph showing all site movements on and off the site for the entire day, including all shifts, and multiple van movements if the vans pick up more than one load per day.
 - What is the peak hour trip generation for this project? There are 112 delivery van parking spaces proposed. Are the vans all utilized at the same time? If not, then the number of necessary parking spaces associated with the vans would not need to be a 1-to-1 basis, and your overall parking needs should be reduced. Also, it would seem that the number of vans on-site could then be reduced. These modifications would allow you to comply with the front landscaping requirement.
 - How do shifts work and interact? Associate/manager shifts are not explained.
 - How are the vans accounted for in your trip generation projections? How long does it take to load a van? How many times does each van return to the site throughout the day, on average?
- d. Will all vans and trucks be routed to Route 5 via John Street, as opposed to driving through the neighborhood on the northeast end of John Street? What about other traffic?
 - e. Are additional counts available from DOT for the Route 5 intersections, including some that were taken during the school year?
 - f. Will the vans in the queueing area be in addition to the vans parked on the site? What will the maximum number of vans on the site at any given time be?
 - g. This office has also verbally requested a detailed written explanation of the parking needs for the site, but the information has not been provided; please provide. How many people are on site at a time? Do DSP drivers park in an empty van spot or in the separate lot? How many people are working in the building at various times? If 25 vans are pre-queued, then they do not need to be parked in parking spaces, so couldn't the number of van spaces be reduced? Also please see related questions above. Please provide all information necessary to account for all drivers and employees and their parking needs.
8. Technical/mapping:
- a. What are the proposed concrete pads adjacent to the building?
 - b. All new utilities are required to be located underground, with a few specific exceptions. You have called out several "new" utility poles on your plan; are these actually new poles, or relocated poles?
 - c. Please show your refuse collection area with appropriate screening and details.
9. Sediment and Erosion Control Plan:
- a. When in the construction sequence will the sediment trap be removed? How can the infiltration system be installed with the sediment trap in that location?
 - b. What is the purpose of the construction entrance location from South Cherry Street? This office agrees that multiple construction entrances, especially when a lot of site work is involved and given the multiple frontages, are appropriate, but this particular location seems to lead right up to the building.
 - c. Final plans will need to include the name and phone number of the contact person for any sedimentation /erosion control issues.
 - d. This office will calculate a recommended bond amount.
 - e. Please include this office in all notification requirements in notes.
 - f. Please add a note that only construction entrances are to be used during construction.
10. Landscaping:
- a. This office does not object to the use of the smaller proposed tree type (Prairiefire Crabapple) along Pent Road to meet the front landscaping requirement, given the existence of the electric lines, provided the trees are still a minimum 2" caliper when planted.
 - b. Please provide dimensions of all landscaped areas, including front landscaped areas, internal landscaped area, landscaped buffer adjacent to the front of the building, landscaped buffer around parking areas, etc., and provide square footage of each internal landscaped island that is

claimed toward the internal landscaping requirement (these must each have a minimum dimension of 8 ft. and 100 sq. ft. in size to count).

- c. Please provide actual calculations necessary to demonstrate compliance with Section 6.14, particularly Sections C and E, including: required and proposed number of trees in the front landscaped area based on 1/50 ft. of frontage, required and proposed number of trees along the parking perimeter, actual proposed number of interior landscaping trees, sq. ft. of interior landscaping, etc. A graphic indicating which trees/areas are being counted toward each requirement might be helpful. There are often questions/confusion about these requirements; please do not hesitate to contact this office to discuss further.
- d. It appears that the landscaped buffer between the car parking area and the truck loading area is not protected by curbing; is this correct? This office feels that curbing protection is necessary, especially given the proximity to trucks and the small dimension of the area.
- e. Some of the proposed tree types, such as Columnar Sargent Cherry, do not appear to be consistent with the requirement that they be a "fast-growing, hardy" variety that is "similar" to Honey Locust, Pine, or Oak. Please revise appropriately.
- f. Thank you for providing screening along the loading areas.
- g. Please provide screening around the utility pad and other utilities along South Cherry Street.

11. Signage:

- a. All signage must comply with Section 6.9 of the Wallingford Zoning Regulations and is subject to a separate sign permit and review process through the Planning and Zoning Department; if the subject application and plans are approved, this is in no way a vetting or approval of any of the proposed signage in the site plan package.
- b. Notwithstanding the above, a review of the proposed signage shows that it generally does not comply with Section 6.9 of the Wallingford Zoning Regulations. Also, some signage is proposed within the right-of-way, which is not permitted, other than traffic signage approved by the Legal Traffic Authority.

12. Lighting:

- a. Your lighting plan shows light trespass across all property lines, particularly on Pent Road; this is not permitted; please modify.
- b. The maximum height of lighting is 25 ft. from grade to the highest point of the light structure; your detail shows 28 ft. Please correct.
- c. From the information provided, this office can not verify the light fixtures proposed. Please provide specs and verify that all fixtures are full cut-off.

Please note: Any responses/correspondence, additional documents and/or revised plans must be received by the Planning & Zoning Department by the close of business on **Wednesday, January 8, 2020** in order to be provided to the Planning & Zoning Commission prior to the Monday, January 13, 2020 meeting. If additional information, responses or documents are necessary to address staff comments and have not been submitted by the Wednesday, January 8, 2020 cutoff, Commission policy is that the application will not be considered/discussed at the upcoming meeting since the necessary information has not been provided.

If you have any questions or need clarification about any of the above comments, or you wish to discuss the comments or your application further, please do not hesitate to contact the Planning Office at 203-294-2090.

Regards,



Kacie A. Hand
Town Planner
KH:



Town of Wallingford
Department of Engineering
45 South Main Street
Wallingford, Connecticut 06492
Tel: (203) 294-2035; Fax: (203) 284-4012

ZB

Olson M. Kapushinski, P.E.
Town Engineer

MEMO

TO: Planning & Zoning Commission

FROM: Department of Engineering

RE: **PZC Application #414-19**
425 South Cherry Street/ Special Permit

DATE: January 2, 2020

Dear Commissioners:

We are in receipt of the following materials for the referenced application:

- Land Development Plans Issued for Planning and Zoning Approval dated 11/3/19
- Stormwater Management Report, BL Companies, 11/3/19
- Traffic Study, BL Companies, October 2019

We offer the following comments on the reviewed material:

1. Turning movement for vehicular access to first ADA space at the Ball Street entrance should be provided.
2. The 71'-wide driveway apron should be narrowed. We recommend the apron be reduced to a maximum width of 30'. A stop sign & stop bar painted per Wallingford's Local Traffic Authority (Chief of Police) is also recommended at this location.
3. A minimum separation distance of 50' is recommended between all driveways.
4. We recommend the exit-only drive and stop bar servicing angled parking spaces west of the building be configured perpendicular to Pent Road. The current configuration suggests a left-only maneuver, and a right-turn maneuver is more likely in this location.
5. We recommend the proposed type CL frame and grate in the vicinity of a proposed driveway apron be heavy duty as per CTDOT standard construction details.

January 2, 2020 – 425 South Cherry Street

6. Calculations showing time of concentration should be submitted for existing and proposed watersheds. It appears the existing time of concentration is low and the proposed time of concentration is high. Any updates to time of concentration should be reflected in updated peak flow calculations.
7. Analysis for SWMB-1 and SWMB-2 should be revised for 10-year, 25-year, and 100-year storms to ensure peak pond elevation does not exceed proposed grade elevation.
8. It appears the stormwater management basins are not being used for infiltration. Was infiltration considered? Were percolation tests conducted?
9. Existing drainage system in Pent Road is a 15-inch pipe and the proposed connection from the site is an 18-inch pipe. The pipe analysis should be updated to model the existing 15-inch pipe.
10. We recommend the Applicant post a bond in the amount of \$35,000 for the proposed work and restoration within the Town right-of-way. Said work is subject to a Street Excavation Permit to be issued by the Department of Engineering.

If you have any questions or require any additional information, please let me know. ■



Town of Wallingford
Department of Engineering
45 South Main Street
Wallingford, Connecticut 06492
Tel: (203) 294-2035; Fax: (203) 284-4012

A large, stylized handwritten signature in black ink, appearing to read "AK".

Alison M. Kapushinski, P.E.
Town Engineer

MEMO

TO: Inland Wetlands and Watercourses Commission

FROM: Alison Kapushinski, P.E. – Town Engineer

RE: **IWWC Application #A19-11.2**
425 South Cherry Street
Inland Wetlands and Watercourses Permit Application

DATE: January 7, 2020

Dear Commissioners:

We are in receipt of the following materials for the referenced application:

- Land Development Plans Issued for Planning and Zoning Approval dated 11/3/19
- Stormwater Management Report, BL Companies, 11/3/19

According to said plan set and Stormwater Management Report, all on-site runoff that is captured by the site drainage system is treated by a series of deep-sump catch basins, hooded outlets, and one of three proposed hydrodynamic separators prior to discharging to the Town-owned drainage system in Pent Road or to the underground stormwater management systems. The majority of the site runoff is routed through a 210-chamber underground stormwater management system. The roof area is routed to a separate 126-chamber underground stormwater management system.

The applicant is currently addressing comments from this office regarding peak flow attenuation which is being handled separately through the Planning & Zoning approval process.

In totality, with all of the information provided to this office, should the Commission be willing to grant approval, I suggest the following condition:

1. Provide calculations to verify the underground infiltration basins have been sized to hold the 1" water quality volume as mentioned in The Stormwater Management Report. If infiltration is being used in the calculations, on-site percolation rates in the vicinity of the proposed underground stormwater management systems shall be provided.

If you have any questions or require additional information, please do not hesitate to contact me.

■

TOWN OF WALLINGFORD
DEPARTMENT OF PUBLIC UTILITIES
WATER AND SEWER DIVISIONS

Fax to: Kacie Hand
2095

21

ENGINEERING SECTION
PHONE: 203-949-2672
FAX: 203-949-2678

INTEROFFICE MEMORANDUM

TO: KACIE HAND, TOWN PLANNER
FROM: ERIK KRUEGER, P.E., SENIOR ENGINEER – WATER AND SEWER DIVISIONS *ERK*
SUBJECT: APPLICATION #414-19 - J. DEWEY – ONE BALL STREET LLC
SPECIAL PERMIT – WAREHOUSE & DISTRIBUTION CENTER
425 SOUTH CHERRY STREET
DATE: JANUARY 10, 2020
CC: N. AMWAKE, P.E.; T. SMITH; R.C. VANSKI; J. DEWEY, P.E., BL COMPANIES

The purpose of this memo is to provide additional comments in response to the letter from Jeffrey Dewey, P.E. of BL Companies dated January 2, 2020 as follows:

1. The estimated fire sprinkler demand of 1,500 gpm with a 150 psi residual cannot be supplied from the water distribution system at this location. We recently performed a fire flow test across the street from this location which indicated the available fire flow in the area is approximately 960 gpm with a residual of 103 psi.

The fire sprinkler system for the proposed development must be designed to operate utilizing the available fire flow at this location including a reasonable factor of safety. If it is not possible to design the fire sprinkler system to operate under the available fire flow conditions, then it may be necessary to modify the building to reduce the needed fire flow or provide a fire pump to meet the proposed estimated needed fire flow at the desired residual pressure.

2. The plumbing fixtures in the building as shown on Plumbing Part Plan P2.01 have been used to calculate the water demand. Based on this preliminary information, the existing 5/8-inch will not be adequate for the proposed demand and a new larger water meter will be required.

The drawings indicate the existing 1-inch copper domestic service will be replaced with a 4-inch DIP water service. Based on the preliminary information supplied, the proposed 4-inch domestic service will be more than adequate for service to the remodeled building.

Connection charges and meter fees for the new larger meter and water service will be required to be paid prior to connecting the new water and sewer utility services to the building.

3. The plumbing plan shows a floor drain in the janitor's closet and a wash down area with a floor drain adjacent to the janitor's closet. Floor drains in process areas are not allowed unless the discharge is pretreated prior to entering the sanitary sewer collection system. These floor drains should be eliminated.

If it is necessary to provide these floor drains and they have the potential to allow non-domestic wastewater to enter the sanitary sewer system, a wastewater discharge survey must be submitted and all pre-treatment devices and all necessary permits

KACIE HAND, TOWN PLANNER
JANUARY 10, 2020
PAGE 2

must be in place prior to discharge. Also a monitoring manhole would be required on the sanitary sewer lateral near the street line.

4. Provide copies of the revised Site Utility Plan sheet SU-1, revised Landscape Plan sheet LL-1 and Detail sheet DN-6 for review.

O:\Engineering\P&Z Applications\South Cherry Street 425 - Special Permit - 414-19 - 2.docx



Town of Wallingford, *Connecticut*

INLAND WETLANDS & WATERCOURSES COMMISSION

MEMORANDUM

414-19B

JAMES E. VITALI
CHIEF ENGINEER
ERIN O'HARE
ENVIRONMENTAL AND NATURAL RESOURCES PLANNER
WALLINGFORD TOWN HALL
425 SOUTH MAIN STREET
WALLINGFORD, CT 06492
TELEPHONE (203) 294-2093
FAX (203) 294-2095

To: Kacie Hand, Town Planner
From: Erin O'Hare, Environmental Planner
Date: Jan. 24, 2020
Subject: IWWC

RECEIVED

JAN 24 2020

WALLINGFORD
PLANNING & ZONING

Re: Report to PZC as per CGS Sec. 8-3(g) regarding applications and/or requests:

PZC #414-19 Special Permit (warehouse & distribution center) / J. Dewey (on behalf of BL Companies) / 425 South Cherry Street

IWWC #A19-11.2 / 425 South Cherry Street – Jeffrey P. Dewey, P.E. (DBA BL Companies) - (industrial redevelopment)

This memorandum is to provide the PZC with a report from the IWWC in accordance with CGS Section 8-3(g), as amended, relative to the disposition of certain matters pending before the PZC - subject applications.

At its Jan. 15, 2020 Special Meeting, the IWWC declared IWWC #A19-11.2 to be not a Significant Impact activity and approved IWWC #A19-11.2 with conditions of approval as the conditions set forth in the Environmental Planner's Report dated January 10, 2020, items #1 through #10 - provided below:

Conditions of Approval:

1. Revised plans set submitted Jan. 7 needs to have corrected revision dates indicated on those sheets that were most recently revised as some sheets indicate rev. Dec. 20.
2. Sediment trap to be cleaned out when sediment level reaches 1 foot below the top of the weir height (level as demarcated on the elevation stake to be installed per plan) and also in advance of a forecasted heavy storm event to provide anticipated required storage needs.
3. In advance of a forecasted heavy storm event, additional erosion control measures are to be installed to protect both the Town's storm sewer facility and the receiving wetlands located in the discharge area on the south side of Oliver Creek Road. The silt sack installed in the Town catch basin in Pent Road downgradient from the sediment trap is to be monitored before and during the storm event and maintained as needed so as to prevent ponding in the vicinity of the catch basin..
4. Submit revised Erosion Control Plan sheets to depict the following:
 - a) Catch basin located in Pent Road at southwestern corner of the site to be fortified with a series of hay bale barriers on the east side of the catch basin - in addition to the silt sack - to provide filtering of silty flows exiting the site and entering the catch basin from the Temporary Sediment Trap facility.
 - b) Revise grading elevations in vicinity of temporary sediment trap (on several sheets as may apply).

- c) Revise Detail of the two cross section drawings of temporary sediment trap provided to reflect corrected elevations and to be consistent with revised grading in this vicinity on the plans.
5. Submit a corrected page 3 of the 'Site Operations and Maintenance Plan' to reflect corrected language for the second IWWC regulated activity approved which concerns the potential for pollution of wetlands off Oliver Creek Road during the construction phase as a result of introduction of sediment-laden flows to the Town storm water system.
 6. Prior to commencement of work, submit revised 'Site Operations and Maintenance Plan' that includes name and contact information for the Contractor who is the 'Responsible Party' for the Plan during construction and the name and contact information for the Contractor who will be the 'Responsible Party' post-construction.
 7. Environmental Planner to be scheduled to inspect initial installation of silt fencing and silt sacks prior to any further activities on the site - including any grading activities and the installation of sediment trap - as these activities generate sediment-laden flows. Should activities proceed without Environmental Planner's approval of adequacy of silt fence and silt sack installations, the Permittee will be cited for noncompliance with terms of the permit and may be requested to appear before the IWWC at its next meeting.
 8. Provide a protected storage area onsite for a supply of hay bales and silt fencing to be stocked at all times.
 9. Should sediment be introduced into the wetlands via Town stormwater facility discharge outfall located on south side of Oliver Creek Road during the Demolition Phase or during the Construction Phase of the permit, Permittee will be required to undertake corrective action on the site and in the adjacent Town R.O.W. to mitigate the issue as needed, to mitigate the degraded condition of the discharge at the discharge location, and to remediate any adverse impact to the wetlands, as may be necessary. As such occurrence may be subject to enforcement action, vigilant monitoring of the erosion control measure installations is paramount.
 10. After PZC approval, submit any revisions required in PZC process to Environmental Planner to review regarding need to modify the IWWC permit.

Regulated activities entail:

- o Sect. 2.1.z.2, Creation of surfaced area of 10,000 s.f. or more where over 20, 000 s.f. currently exists. The net proposed increase in surface area is 46,873 s.f.
- o Sect. 2.1.z.3, relative to the potential for impact as a result of flows exiting the site and entering the Town storm sewer system in Pent Road during the construction phase discharging sediments to the wetlands off Oliver Creek Road.

CC: James E. Vitali, Chair, IWWC
Jeffrey Dewey, P.E., BL Companies

414-19A

**PLANNING & ZONING
INTER-DEPARTMENTAL REFERRAL
NOTICE OF PROPOSED DEVELOPMENT**

REVISED

APPLICATION: #414-19
DATE OF SUBMISSION: November 7, 2019
DATE OF RECEIPT: November 13, 2019
SCHEDULED MEETING: December 9, 2019

RECEIVED

JAN 15 2020

WALLINGFORD
PLANNING & ZONING

NAME & APPLICATION OF PROPOSED DEVELOPMENTS: Special Permit/Warehouse & Distribution Center/
J. Dewey (dba BL Companies)/425 South Cherry Street

LOCATION: 425 South Cherry Street

REFERRED TO:

- ELECTRIC
- HEALTH
- BUILDING
- ENGINEERING
- INLAND WETLANDS
- OTHER
- FIRE
- WATER & SEWER

DEPARTMENT COMMENTS: NEEDS TO HAVE HYDRANT
& REMOTE FIRE DEPARTMENT CONNECTION

SIGNED BY: [Signature] 1. FM (Title)
DATE: 1/14/20

RECEIVED
JAN 15 2020
BY: [Signature]



Town of Wallingford, Connecticut

INLAND WETLANDS & WATERCOURSES COMMISSION

MEMORANDUM

To: Kacie Hand, Town Planner
From: Erin O'Hare, Environmental Planner
Date: Jan. 24, 2020
Subject: IWWC

414-19.15

JAMES E. VITALI
CHAIRMAN

ERIN O'HARE
ENVIRONMENTAL AND NATURAL RESOURCES PLANNER

WALLINGFORD TOWN HALL
45 SOUTH MAIN STREET
WALLINGFORD, CT 06492
TELEPHONE (203) 294-2093
FAX (203) 294-2095

Erin O'Hare
414-19.15

RECEIVED

JAN 24 2020

Re: Report to PZC as per CGS Sec. 8-3(g) regarding applications and/or requests:

PZC #414-19 Special Permit (warehouse & distribution center) / J. Dewey (on behalf of BL Companies) / 425 South Cherry Street

IWWC #A19-11.2 / 425 South Cherry Street – Jeffrey P. Dewey, P.E. (DBA BL Companies) - (industrial redevelopment)

This memorandum is to provide the PZC with a report from the IWWC in accordance with CGS Section 8-3(g), as amended, relative to the disposition of certain matters pending before the PZC - subject applications.

At its Jan. 15, 2020 Special Meeting, the IWWC declared IWWC #A19-11.2 to be not a Significant Impact activity and approved IWWC #A19-11.2 with conditions of approval as the conditions set forth in the Environmental Planner's Report dated January 10, 2020, items #1 through #10 - provided below:

Conditions of Approval:

1. Revised plans set submitted Jan. 7 needs to have corrected revision dates indicated on those sheets that were most recently revised as some sheets indicate rev. Dec. 20.
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3. In advance of a forecasted heavy storm event, additional erosion control measures are to be installed to protect both the Town's storm sewer facility and the receiving wetlands located in the discharge area on the south side of Oliver Creek Road. The silt sack installed in the Town catch basin in Pent Road downgradient from the sediment trap is to be monitored before and during the storm event and maintained as needed so as to prevent ponding in the vicinity of the catch basin..
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 - b) Revise grading elevations in vicinity of temporary sediment trap (on several sheets as may apply).

- c) Revise Detail of the two cross section drawings of temporary sediment trap provided to reflect corrected elevations and to be consistent with revised grading in this vicinity on the plans.
5. Submit a corrected page 3 of the 'Site Operations and Maintenance Plan' to reflect corrected language for the second IWWC regulated activity approved which concerns the potential for pollution of wetlands off Oliver Creek Road during the construction phase as a result of introduction of sediment-laden flows to the Town storm water system.
 6. Prior to commencement of work, submit revised 'Site Operations and Maintenance Plan' that includes name and contact information for the Contractor who is the 'Responsible Party' for the Plan during construction and the name and contact information for the Contractor who will be the 'Responsible Party' post-construction.
 7. Environmental Planner to be scheduled to inspect initial installation of silt fencing and silt sacks prior to any further activities on the site - including any grading activities and the installation of sediment trap - as these activities generate sediment-laden flows. Should activities proceed without Environmental Planner's approval of adequacy of silt fence and silt sack installations, the Permittee will be cited for noncompliance with terms of the permit and may be requested to appear before the IWWC at its next meeting.
 8. Provide a protected storage area onsite for a supply of hay bales and silt fencing to be stocked at all times.
 9. Should sediment be introduced into the wetlands via Town stormwater facility discharge outfall located on south side of Oliver Creek Road during the Demolition Phase or during the Construction Phase of the permit, Permittee will be required to undertake corrective action on the site and in the adjacent Town R.O.W. to mitigate the issue as needed, to mitigate the degraded condition of the discharge at the discharge location, and to remediate any adverse impact to the wetlands, as may be necessary. As such occurrence may be subject to enforcement action, vigilant monitoring of the erosion control measure installations is paramount.
 10. After PZC approval, submit any revisions required in PZC process to Environmental Planner to review regarding need to modify the IWWC permit.

Regulated activities entail:

- o Sect. 2.1.z.2, Creation of surfaced area of 10,000 s.f. or more where over 20, 000 s.f. currently exists. The net proposed increase in surface area is 46,873 s.f.
- o Sect. 2.1.z.3, relative to the potential for impact as a result of flows exiting the site and entering the Town storm sewer system in Pent Road during the construction phase discharging sediments to the wetlands off Oliver Creek Road.

CC: James E. Vitali, Chair, IWWC
Jeffrey Dewey, P.E., BL Companies



Town of Wallingford
Department of Engineering
45 South Main Street
Wallingford, Connecticut 06492
Tel: (203) 294-2035; Fax: (203) 284-4012

Alison M. Kapushinski, P.E.
Town Engineer

414-193C

MEMO

TO: Planning & Zoning Commission

FROM: Department of Engineering AMK

RE: **PZC Application #414-19**
425 South Cherry Street/ Special Permit

DATE: January 28, 2020

RECEIVED

FEB - 5 2020

WALLINGFORD
PLANNING & ZONING

Dear Commissioners:

We are in receipt of the following updated materials for the referenced application:

- Grading & Drainage Plan, dated 11/26/19 and last revised 01/03/20
- Summary of Drainage System Revisions, dated 01/23/20

We suggest the following comments as Conditions of Approval:

1. The 71'-wide driveway apron should be narrowed to minimize the number of vehicular conflict points with drivers on Ball Street. We recommend the apron be reduced to a maximum width of 30'. A stop sign & stop bar painted per Wallingford's Local Traffic Authority (Chief of Police) is also recommended at this location. The applicant previously responded to this comment by stating that reducing the driveway width would create traffic issues for the drivers exiting the building. However, it's my opinion that this is a logistics problem and not a traffic problem. Logistics should be handled by the end-user in a way that satisfies town requirements.
2. Applicant to provide all pipe sizing calculation tables showing the updated values for the 15" pipe from SWMB-1 to OCS-200, and OCS-200 to EX-CB-200 for review by this department.
3. Applicant shall submit a compiled updated drainage report and updated plan set to the Engineering Department for filing.
4. We recommend the Applicant post a bond in the amount of \$35,000 for the proposed work and restoration within the Town right-of-way. Said work is subject to a Street Excavation Permit to be issued by the Department of Engineering.

If you have any questions or require any additional information, please let me know.

414-19 ~~414-19~~

**PLANNING & ZONING
INTER-DEPARTMENTAL REFERRAL
NOTICE OF PROPOSED DEVELOPMENT**

APPLICATION: #414-19

DATE OF SUBMISSION: November 7, 2019

DATE OF RECEIPT: November 13, 2019

SCHEDULED MEETING: December 9, 2019

RECEIVED
NOV 25 2019
WALLINGFORD
PLANNING & ZONING

NAME & APPLICATION OF PROPOSED DEVELOPMENTS: Special Permit/Warehouse & Distribution Center/
J. Dewey (dba BL Companies)/425 South Cherry Street

LOCATION: 425 South Cherry Street

REFERRED TO:

- | | | |
|---|---|--|
| <input checked="" type="checkbox"/> ELECTRIC | <input checked="" type="checkbox"/> HEALTH | <input checked="" type="checkbox"/> BUILDING |
| <input checked="" type="checkbox"/> ENGINEERING | <input checked="" type="checkbox"/> INLAND WETLANDS | <input type="checkbox"/> OTHER |
| <input checked="" type="checkbox"/> FIRE | <input checked="" type="checkbox"/> WATER & SEWER | |

DEPARTMENT COMMENTS: FIRE MARSHAL REQUIRES FET OUT PLAN

SIGNED BY: [Signature] | FIRE MARSHAL
(Title)
DATE: 11/25/19

RECEIVED
NOV 18 2019
BY: [Signature]

414-19 J

RECEIVED
DEC - 5 2019

WALLINGFORD
ENGINEERING & ZONING
INTEROFFICE MEMORANDUM

TO: KACIE HAND, TOWN PLANNER
FROM: ERIK KRUEGER, P.E., SENIOR ENGINEER - WATER AND SEWER DIVISIONS *ERK*
SUBJECT: APPLICATION #414-19 - J. DEWEY - ONE BALL STREET LLC
SPECIAL PERMIT - WAREHOUSE & DISTRIBUTION CENTER
425 SOUTH CHERRY STREET
DATE: DECEMBER 4, 2019
CC: N. AMWAKE, P.E.; T. SMITH; R.C. VANSKI; J. DEWEY, P.E., BL COMPANIES

The staff of the Water and Sewer Divisions has reviewed the drawings submitted for the subject application and this memo consolidates their comments and requirements.

The existing building is currently served by municipal water and sanitary sewer service. There is a 1-inch copper domestic water service with a 5/8-inch meter. The existing fire line is an 8-inch DIP service. The existing sanitary sewer lateral is 6-inch PVC.

The drawings submitted with the application indicate that a new 4-inch DIP domestic water service will be installed to replace the existing 1-inch copper water service. The 1-inch water service is shown to be removed and abandoned. The 8-inch fire service is shown to remain. A new 6-inch sanitary sewer lateral is proposed to be installed in addition to the existing 6-inch PVC lateral that will remain.

In order to determine if the proposed water and sanitary sewer services will be adequate for the proposed building, additional details of the proposed development must be submitted. Therefore we request that the following list of water and sewer utility items be made conditions of approval that must be resolved prior to the issuance of building permits for the proposed modifications to the building:

1. Provide final water use, needed fire flow estimates and sanitary sewer usage estimates for the proposed development.
2. Submit interior plumbing plans for the proposed building showing the domestic water, fire sprinkler system and the waste piping.
3. The Town will determine the required size of the domestic water service and meter based on the final plumbing fixture counts for the building supplied by the Applicant. If a new larger meter is required then connection charges and meter fees will be based on the size of the meter and will be due prior to issuance of a building permit.
4. Depending on the magnitude of the needed fire flow and required residual pressures for this development, improvements to the municipal water distribution system may be necessary. Once the needed fire flows are submitted, the Town will review the sizing of the fire lines and determine if any system upgrades will be required. All upgrades that may be necessary in order to serve this development would be the responsibility of the Applicant.

5. The details of the fire protection system and the location of fire hydrants and fire department connections, if required, shall be as determined by the Fire Marshal's office.
6. If there will be any non-domestic wastewater (discharges other than wastewater generated from restrooms incidental to occupancy of residential or non-residential buildings) from the proposed building then the applicant shall complete a Wastewater Discharge Survey. If there will be discharges that require pretreatment, all permits for such discharge shall be obtained by the applicant prior to discharge and all such pretreatment devices shall be furnished and installed as necessary in accordance with the requirements of the Wallingford Sewer Division. All sanitary sewer laterals that convey non-domestic discharges to the sanitary sewer system shall have a monitoring manhole installed near the street-line.
7. The proposed new lateral is shown to connect to an existing chimney that extends up from the relatively deep 20-inch ACP municipal sanitary sewer main in Ball Street. Chimney type connections are currently not allowed for new sanitary sewer connections; however, since there is an existing chimney connection already available for use in the street, connection to this chimney will be allowed provided the condition of the existing chimney is assessed and found to be suitable for use. If the existing chimney is not suitable for use, a new deep connection shall be made to the main in accordance with the Wallingford Sewer Division Technical Standards and Details.
8. The landscape plan sheet LL-1 shows multiple Honey-locust, Red Oak and Red Maple trees proposed within the sanitary sewer easement for the existing municipal 36-inch RCP sanitary sewer pipe that runs along the east side of the building on the property. The trees are currently shown on the plan to be installed within 5-feet of the existing sanitary sewer line. The trees shall be relocated so as not to hinder access to the sanitary sewer main for maintenance and repair and shall be no closer than 10 feet to the existing sanitary sewer main.
9. The water and sewer details shown on sheet DN-6 do not conform to the Wallingford Water and Sewer Divisions Technical Standards and Details. The details shall be revised to conform to the Wallingford Standards.
10. Submission of a final revised set of drawings for all required water and sewer utility installations subject to the final review and approval of the Water and Sewer Divisions incorporating all required technical revisions and details.
11. Water and Sanitary Sewer Utility Performance and Maintenance Bonds to cover the installation of the water and sewer utilities in accordance with the requirements of the Water and Sewer Divisions may be required. The total amount of the bonds will be based upon the final water and sanitary sewer layout and any system improvements if required.

Also, Town Ordinance No. 577 stipulates that if a building permit is issued for improvements/repairs of buildings, costing at least \$25,000, then the Town may conduct an inspection of the property in order to determine if any groundwater or storm water drains are connected to the sanitary sewer. Therefore, if the proposed renovations meet these criteria, we hereby request that the property owner contact this office to arrange for an inspection of the property by the Sewer Division to review potential sources of inflow and infiltration that may need to be disconnected from the municipal sanitary sewer system.

414-19k

**WALLINGFORD PLANNING AND ZONING COMMISSION
INTER TOWN/CITY/AGENCY REFERRAL
NOTICE OF PROPOSED DEVELOPMENT – WITHIN 500 FEET OF MUNICIPALITY**

TO: Vera A. Morrison, Town Clerk, Hamden, CT

APPLICATION: #414-19

DATE OF SUBMISSION: December 12, 2019

DATE OF RECEIPT: January 13, 2020

SCHEDULED MEETING: Wednesday, March 11, 2020

Special Permit #414-19 - (traffic generator) for J. Dewey (on behalf of BL Companies) for a warehouse/distribution center at 425 South Cherry Street with associated additional van parking at 425 South Cherry Street and 528 South Cherry Street (Allnex).

LOCATION: 425 and 528 South Cherry Street

414-19L

**WALLINGFORD PLANNING AND ZONING COMMISSION
INTER TOWN/CITY/AGENCY REFERRAL
NOTICE OF PROPOSED DEVELOPMENT – WITHIN 500 FEET OF MUNICIPALITY**

TO: J. Stacey Yarbrough, Town Clerk, North Haven, CT

APPLICATION: #414-19

DATE OF SUBMISSION: December 12, 2019

DATE OF RECEIPT: January 13, 2020

SCHEDULED MEETING: Wednesday, March 11, 2020

Special Permit #414-19 - (traffic generator) for J. Dewey (on behalf of BL Companies) for a warehouse/distribution center at 425 South Cherry Street with associated additional van parking at 425 South Cherry Street and 528 South Cherry Street (Allnex).

LOCATION: 425 and 528 South Cherry Street

414-19M

RECEIVED

FEB 24 2020

WALLINGFORD
PLANNING & ZONING

PLANNING & ZONING
INTER-DEPARTMENTAL REFERRAL
NOTICE OF PROPOSED DEVELOPMENT

APPLICATION: #414-19

DATE OF SUBMISSION: November 7, 2019

DATE OF RECEIPT: November 13, 2019

SCHEDULED MEETING: March 11, 2020

NAME & APPLICATION OF PROPOSED DEVELOPMENTS: Special Permit/Warehouse & Distribution Center/
J. Dewey (dba BL Companies) 425 South Cherry Street and 528 South Cherry Street

LOCATION: 425 South Cherry Street and 528 South Cherry Street

REFERRED TO:

- ELECTRIC HEALTH BUILDING
- ENGINEERING INLAND WETLANDS
- FIRE WATER & SEWER

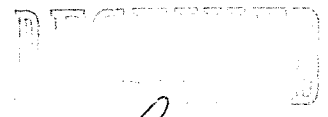
DEPARTMENT COMMENTS: THE fire hydrant and FDC have

BEEN PROVIDED

NO COMMENT

Signed By: [Signature] FIRE MARSHAL
(Title)

Date: 2/21/20



[Signature]

To: P+Z, Kacie



Town of Wallingford
Department of Engineering
45 South Main Street
Wallingford, Connecticut 06492
Tel: (203) 294-2035; Fax: (203) 284-4012

Alison M. Kapushinski, P.E.
Town Engineer

414-195

MEMO

RECEIVED

MAR - 2 2020

WALLINGFORD
PLANNING & ZONING

TO: Jeff Dewey, BL Companies
FROM: Department of Engineering
RE: PZC Application #414-19
425 South Cherry Street/ Special Permit
DATE: February 28, 2020

Dear Jeff:

We are in receipt of the following updated materials for the referenced application:

- Land Development Plans Issues for Inland Wetlands and Watercourses Approval revised through 1/28/20
- Executive Summary by BL Companies
- Summary of Drainage System Revisions, dated 01/23/20
- Site Operations and Maintenance Plan, dated 11/30/19
- Truck Turning Exhibits – Entering and Exiting Site, dated 11/26/19
- Overall Off-Site Plan dated 2/11/20
- Landscape exhibits dated 11/26/19 and revised 2/11/20
- Elevation Drawings AP5.00 and AP5.01, dated 10/16/19 and 2/14/20, respectively

As mentioned in previous memos dated 1/2/20 and 1/28/20, the proposed 71'-wide driveway apron should be narrowed to minimize the number of vehicular conflict points with drivers on Ball Street. We recommend the apron be reduced to a maximum width of 30', which is 6' wider than what is typically allowed. You had previously responded to this comment by stating that reducing the driveway width would create traffic issues for the drivers exiting the building. However, it's my opinion that this is a logistics problem and not a traffic problem. Logistics should be handled by the end-user in a way that satisfies town requirements.

If you, as the applicant, does not agree to reducing this driveway apron to a maximum width of 30' prior to the Planning and Zoning Commission meeting, I will not be able to support the approval of the application.

In addition to the above comment, I am suggesting the following to be added to Conditions of Approval:

1. South Cherry Street has known drainage issues during storm events. Now that a curb cut is proposed along South Cherry Street, it's possible the occupant will investigate ways to

February 26, 2020 – 425 South Cherry Street

reduce drainage issues in the future. I suggest relocating the 3'-wide strip of landscaping between the van and car parking areas to the 5' landscape buffer along the southern property line. This provides additional space to install a storm pipe to Pent Street, if that were to be a preferred option in the future.

2. Applicant to provide all pipe sizing calculation tables showing the updated values for the 15" pipe from SWMB-1 to OCS-200, and OCS-200 to EX-CB-200 for review by this department.
3. On sheet OSP-2, the note to remove striping to provide 24' aisle shall be updated to call out 30' aisle. Dimensions label the proposed aisle as 30'.
4. The stop bar shall be in line with the stop sign at the exit driveway located along the west side of the building.
5. Site Operations and Maintenance Plan shall be revised to include the off-site parking lot at 528 South Cherry Street.
6. Applicant shall submit a compiled updated drainage report and plan set to the Engineering Department for filing.
7. We recommend the Applicant post a bond in the amount of \$35,000 for the proposed work and restoration within the Town right-of-way. Said work is subject to a Street Excavation Permit to be issued by the Department of Engineering.

If you have any questions or require any additional information, please let me know.

cc: Kacie Hand – Town Planner AMK



44-19T

Permeability Calculations:

Objective: Calculate permeability and infiltration rate for Test Pit TP-5.

Approach: Use the Variable Head & Basic Time-Lag methods to calculate the permeability in inches/hour for the performed Test Pit near the proposed southern underground infiltration system.

References: 1. Subsurface Location Plan - Figure 3, provided by Nobis Engineering.
 2. Time Lag and Soil Permeability, Hsorlev (1951).

Given: 1. Groundwater was not encountered at Test Pit location.

Solution:

Test Location	TP-5
Test Number	3
Test Depth	3'
Date Performed	11/14/2019

USDA: Sandy Loam

Burmister: Brown, fine to coarse Sand, some fine to coarse Gravel, some silt, few cobbles, moist.

Time		Height			Results		
Seconds	Minutes	Inches	Feet	Feet + Initial Depth	Time (Minutes)	Relative Piezometric Head (Feet)	Percent of Initial Head
0	0.00	27.25	2.27	2.27	0.00	2.27	100.00
15	0.25	27.25	2.27	2.27	0.25	2.27	100.00
30	0.50	27.13	2.26	2.26	0.50	2.26	99.54
45	0.75	27.00	2.25	2.25	0.75	2.25	99.08
60	1.00	26.63	2.22	2.22	1.00	2.22	97.71
80	1.33	26.50	2.21	2.21	1.33	2.21	97.25
90	1.50	26.31	2.19	2.19	1.50	2.19	96.56
105	1.75	26.19	2.18	2.18	1.75	2.18	96.10
120	2.00	26.00	2.17	2.17	2.00	2.17	95.41
135	2.25	25.63	2.14	2.14	2.25	2.14	94.04
150	2.50	25.50	2.13	2.13	2.50	2.13	93.58
165	2.75	25.25	2.10	2.10	2.75	2.10	92.66
180	3.00	25.00	2.08	2.08	3.00	2.08	91.74
210	3.50	24.63	2.05	2.05	3.50	2.05	90.37
220	3.67	24.50	2.04	2.04	3.67	2.04	89.91
235	3.92	24.31	2.03	2.03	3.92	2.03	89.22
250	4.17	24.19	2.02	2.02	4.17	2.02	88.76
270	4.50	24.00	2.00	2.00	4.50	2.00	88.07
285	4.75	23.63	1.97	1.97	4.75	1.97	86.70
300	5.00	23.56	1.96	1.96	5.00	1.96	86.47



330	5.50	23.50	1.96	1.96	5.50	1.96	86.24
360	6.00	23.25	1.94	1.94	6.00	1.94	85.32
390	6.50	23.00	1.92	1.92	6.50	1.92	84.40
420	7.00	22.63	1.89	1.89	7.00	1.89	83.03
450	7.50	22.50	1.88	1.88	7.50	1.88	82.57
480	8.00	22.31	1.86	1.86	8.00	1.86	81.88
510	8.50	22.19	1.85	1.85	8.50	1.85	81.42
520	8.67	22.00	1.83	1.83	8.67	1.83	80.73
550	9.17	21.88	1.82	1.82	9.17	1.82	80.28
580	9.67	21.75	1.81	1.81	9.67	1.81	79.82
610	10.17	21.63	1.80	1.80	10.17	1.80	79.36
640	10.67	20.88	1.74	1.74	10.67	1.74	76.61
670	11.17	20.75	1.73	1.73	11.17	1.73	76.15
710	11.83	19.50	1.63	1.63	11.83	1.63	71.56
1140	19.00	19.00	1.58	1.58	19.00	1.58	69.72
1260	21.00	18.50	1.54	1.54	21.00	1.54	67.89
1350	22.50	18.00	1.50	1.50	22.50	1.50	66.06
1530	25.50	17.50	1.46	1.46	25.50	1.46	64.22
1680	28.00	17.00	1.42	1.42	28.00	1.42	62.39
2100	35.00	15.00	1.25	1.25	35.00	1.25	55.05

Permeability Calculations:

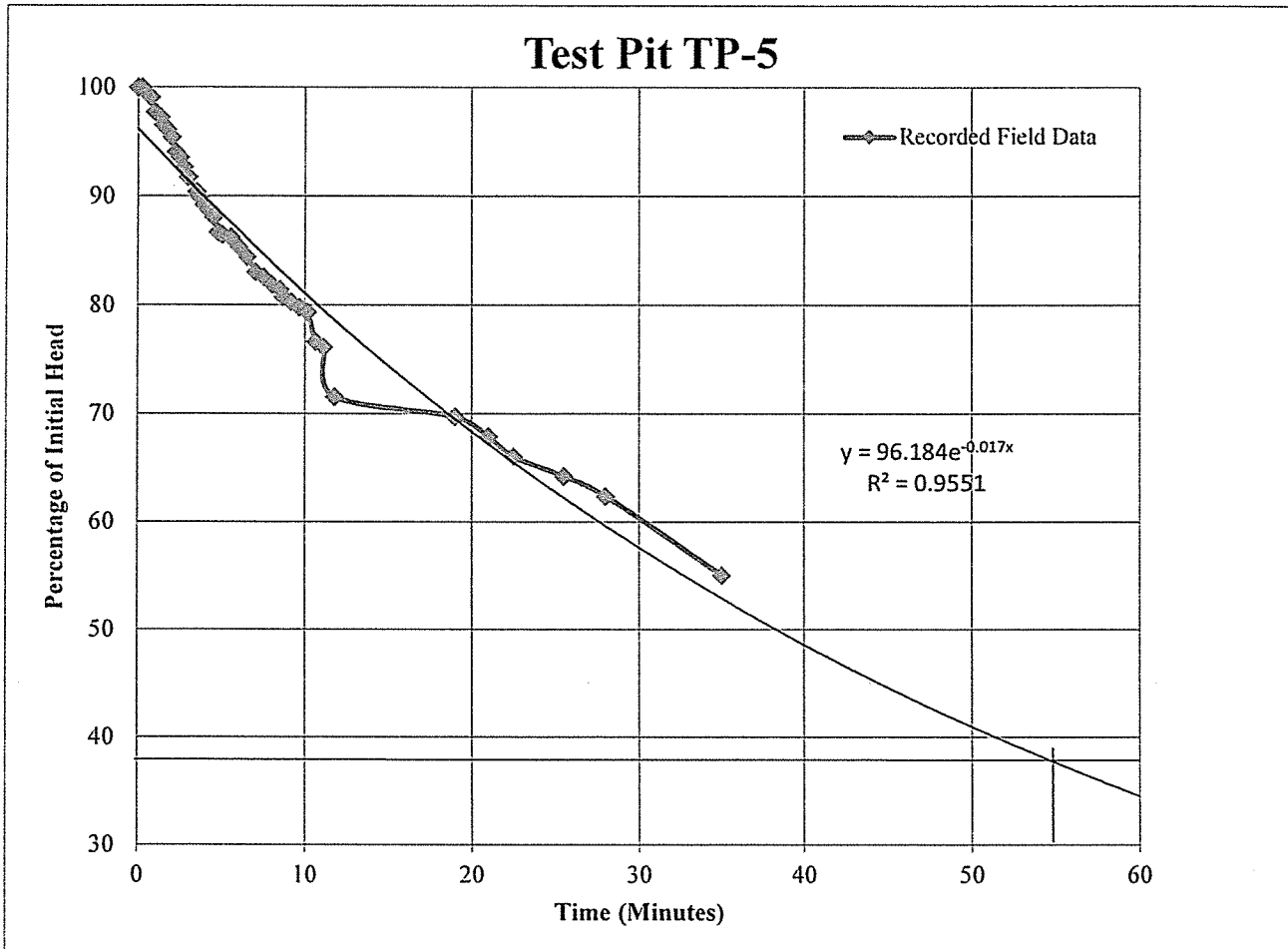
Variable Head Method:

	inch/min	inch/hour	feet/day	cm/sec
$K_m =$	1.95E-02	1.17	2.34	8.25E-04

Variable Head permeability, Flush Bottom in Uniform Soil (Hvorslev Case B)

K_m = mean coefficient of permeability
 $K_m = \frac{(\pi \cdot D)}{(11 \cdot (t_2 - t_1))} \cdot \ln\left(\frac{H_1}{H_2}\right)$

D = diameter of pipe = 4 inches
 $K_m =$ 1.17 inch/hour (approximation using Variable Head Method)



Permeability Calculations:

Basic Time-Lag Method:

			inch/min	inch/hour	feet/day	cm/sec
T=	55.87	$K_m =$	2.04E-02	1.23	2.45	8.66E-04

Basic Time Lag Method - Flush Bottom in Uniform Soil (Hvorslev Case B)

K_m = mean coefficient of permeability

$K_m = (\pi * D) / (11 * T)$

$T = \ln(37/96.184) / -0.017$

D = diameter of pipe =

@ $y = 37$ Solve for $x = T$

4 inches

$K_m =$ **1.23 inch/hour** (approximation using Time Lag Method)

414-19W

INTEROFFICE MEMORANDUM

TO: KACIE HAND, TOWN PLANNER
FROM: ERIK KRUEGER, P.E., SENIOR ENGINEER – WATER AND SEWER DIVISIONS ^{6/11/20}
SUBJECT: APPLICATION #414-19 - J. DEWEY – ONE BALL STREET LLC
SPECIAL PERMIT – WAREHOUSE & DISTRIBUTION CENTER
425 SOUTH CHERRY STREET
DATE: JANUARY 10, 2020
CC: N. AMWAKE, P.E.; T. SMITH; R.C. VANSKI; J. DEWEY, P.E., BL COMPANIES

The purpose of this memo is to provide additional comments in response to the letter from Jeffrey Dewey, P.E. of BL Companies dated January 2, 2020 as follows:

1. The estimated fire sprinkler demand of 1,500 gpm with a 150 psi residual cannot be supplied from the water distribution system at this location. We recently performed a fire flow test across the street from this location which indicated the available fire flow in the area is approximately 960 gpm with a residual of 103 psi.

The fire sprinkler system for the proposed development must be designed to operate utilizing the available fire flow at this location including a reasonable factor of safety. If it is not possible to design the fire sprinkler system to operate under the available fire flow conditions, then it may be necessary to modify the building to reduce the needed fire flow or provide a fire pump to meet the proposed estimated needed fire flow at the desired residual pressure.

2. The plumbing fixtures in the building as shown on Plumbing Part Plan P2.01 have been used to calculate the water demand. Based on this preliminary information, the existing 5/8-inch will not be adequate for the proposed demand and a new larger water meter will be required.

The drawings indicate the existing 1-inch copper domestic service will be replaced with a 4-inch DIP water service. Based on the preliminary information supplied, the proposed 4-inch domestic service will be more than adequate for service to the remodeled building.

Connection charges and meter fees for the new larger meter and water service will be required to be paid prior to connecting the new water and sewer utility services to the building.

3. The plumbing plan shows a floor drain in the janitor's closet and a wash down area with a floor drain adjacent to the janitor's closet. Floor drains in process areas are not allowed unless the discharge is pretreated prior to entering the sanitary sewer collection system. These floor drains should be eliminated.

If it is necessary to provide these floor drains and they have the potential to allow non-domestic wastewater to enter the sanitary sewer system, a wastewater discharge survey must be submitted and all pre-treatment devices and all necessary permits

KACIE HAND, TOWN PLANNER
JANUARY 10, 2020
PAGE 2

must be in place prior to discharge. Also a monitoring manhole would be required on the sanitary sewer lateral near the street line.

4. Provide copies of the revised Site Utility Plan sheet SU-1, revised Landscape Plan sheet LL-1 and Detail sheet DN-6 for review.

O:\Engineering\P&Z Applications\South Cherry Street 425 - Special Permit - 414-19 - 2.docx

DOB2 – 425 SOUTH CHERRY STREET WALLINGFORD, CT AMAZON LOGISTICS OPERATIONAL NARRATIVE

Amazon Logistics (“AMZL”) is a service that fulfills customer orders. AMZL specializes in “last mile” delivery of customer orders from delivery stations. Packages are shipped to AMZL delivery stations from Amazon fulfillment and sortation centers. Packages arrive from line haul trucks, are sorted based on zip codes and loaded into delivery vans operated by delivery service partners (“DSP”) or personal vehicles operated by individuals (“Amazon FLEX”).

Delivery stations operate 24/7, with most of the sortation activity done early in the morning when the line haul trucks arrive with customer packages. At our proposed Wallingford, Connecticut facility, AMZL anticipates approximately 8 line haul trucks delivering packages to the Delivery Station each day, primarily between the hours of 10:30 PM to 8:30 AM. Associates sort the packages by routes, place the packages onto movable racks and load the packages into the delivery vans primarily between 12:30 AM and 11:00 AM with approximately 125 Amazon associates entering and departing between those times. Additionally, there will be approximately 20 managers supervising the DSP operations, arriving between 8:00 AM and 11:00 AM and departing between 7:00 PM and 10:00 PM.

The first “wave” of 25 DSP drivers arrive at a delivery station at approximately 10:00 AM. DSP drivers either park their personal vehicles onsite and pick up their delivery vans or park their personal vehicles offsite at 528 South Cherry Street, Wallingford, Connecticut (AKA – Allnex site) approximately 800 feet away from the AMZL delivery station, pick up their delivery vans and drive to the delivery station. Once at the delivery station with their delivery van, DSP drivers load their delivery van and depart to deliver packages directly to customers. Each delivery wave takes about 30 minutes to load and depart. As a wave of DSP drivers prepare to depart, a new wave of DSP drivers queue and prepare to load their delivery van. The last wave of DSP drivers departs the delivery station around 1:00 PM. Approximately 130 delivery vans will depart the Delivery Station between 10:00 AM and 1:00 PM and return between 6:00 PM and 9:00 PM. For Wallingford, Connecticut Conditional Approval purposes, it is anticipated that AMZL will not exceed using more than 175 delivery vans during its “Steady State” operations. Steady State is typically defined as the period from January 1 through to the last week of November in any given year, excluding a few days in July for the Amazon Prime Day event. During the holiday season (typically starting Black Friday up until Christmas), AMZL experiences a higher than usual volume demand known as “Peak”. It is anticipated that, during Peak season, AMZL will not exceed 275 delivery vans on the highest shipped volume day during this period.

After DSP drivers complete their routes, they return to the delivery station with any packages that may have been non-deliverable. After proper checkout and release, the DSP drivers park the delivery van either onsite or at the offsite location and leave using a personal vehicle or public transport.

AMZL also uses Amazon FLEX to deliver packages. Amazon FLEX is a new innovation from Amazon that allows individuals to use their own vehicles to deliver packages to customers. Amazon

FLEX works in concert with an advanced logistics systems and technology that Amazon has been building since day one.

AMZL anticipates approximately 100 traditional passenger vehicles entering the facility staggered between 4:00 PM and 6:00 PM. FLEX loading waves similarly take 20 minutes to complete.

After departure of the last wave of delivery vehicles, delivery station associates prepare the delivery station for the next day's packages.

Subject Re: Revised Amazon Delivery Station DOB2 Operational Narrative - Wallingford, CT

From Kacie Hand <kacie.costello@wallingfordct.gov>

To de Bourbon, Marc <marcbour@amazon.com>

Cc <kacie.hand@wallingfordct.gov>, TCODY@RC.com <TCODY@rc.com>, Dewey, Jeffrey <jdewey@blcompanies.com>, Flynn, Jamie <jamflyn@amazon.com>, Fries, William <bfries@blcompanies.com>



Reply-To <kacie.hand@wallingfordct.gov>

Reply-To <kacie.hand@wallingfordct.gov>

Date 2020-02-27 1:16 pm

Hi Marc,

Thank you for the updated information and for all of your time in discussing these issues. I think the updated formalized numbers are very helpful, and having formalized numbers/caps will greatly inform the Commission in making their decision. I believe you were also going to address the fact that there are significantly more van spaces than actual vans being discussed (275 during peak vs. 354 van spaces)? I know you explained it to me verbally, but I think this would be very helpful in written explanation to the Commission. This could be in an additional revision or a separate document/explanation.

If you have any questions, please do not hesitate to contact me.

Thank you!

Kacie A. Hand, AICP
Town Planner
Town of Wallingford
203-294-2090
Fax: 203-294-2095
kacie.costello@wallingfordct.gov

On 2020-02-25 8:48 pm, de Bourbon, Marc wrote:

Kacie,

Sorry for the delay in getting this revised operational narrative back to you. Please call me with any questions.

Best,

Marc

Marc A. de Bourbon | Senior Program Manager
Amazon Logistics
California Remote Base
marcbour@amazon.com | (510) 343-4342

-----Original Message-----

From: Kacie Hand <kacie.costello@wallingfordct.gov>
Sent: Tuesday, February 18, 2020 7:00 AM
To: de Bourbon, Marc <marcbour@amazon.com>
Cc: TCODY@RC.com; Dewey, Jeffrey <jdewey@blcompanies.com>; Flynn,

Jamie <jamflyn@amazon.com>

Subject: Re: Amazon Delivery Station DOB2 Operational Narrative - Wallingford, CT

Hi Marc,

Thank you for the Operational Narrative, I think it will be helpful in moving forward.

There is still some missing/unclear information that I think is essential to our understanding of the operation; if you could call me at your convenience to discuss further, I would appreciate it.

Regards,
Kacie

Kacie A. Hand, AICP
Town Planner
Town of Wallingford
203-294-2090
Fax: 203-294-2095
kacie.costello@wallingfordct.gov

On 2020-02-13 6:53 pm, de Bourbon, Marc wrote:

Hi Kacie,

Per our conversation, attached please find the Amazon Delivery Station Operational Narrative that outlines our intended use for 425 South Cherry Street, Wallingford, CT.

Please note that I will be traveling tomorrow February 14 to Los Angeles, CA on business and then out of the country starting Sunday, February 16 and returning Friday, February 21. If you have any questions, please try my cell phone tomorrow or text me a message to my cell (510) 343-4342 and we will hopefully connect.

MARC A. DE BOURBON | SENIOR PROGRAM MANAGER

Amazon Logistics

California Remote Base

marcbour@amazon.com | (510) 343-4342

414-19 W



Subject Application #414-19 - 425 and 528 South Cherry Street
From Kacie Hand <kacie.costello@wallingfordct.gov>
To Dewey, Jeffrey <jdewey@blcompanies.com>, de Bourbon, Marc <marcbour@amazon.com>, TCODY@RC.com <TCODY@rc.com>
Reply-To <kacie.hand@wallingfordct.gov>
Reply-To <kacie.hand@wallingfordct.gov>
Date 2020-02-27 5:28 pm

Good afternoon,

The purpose of this email is to summarize the status of this application and any outstanding items as far as this office is aware, and to provide sufficient time between now and the meeting for you to address any items that need to be addressed prior to the meeting. The majority of remaining items are being recommended as potential Conditions of Approval (if the Commission is inclined to approve the application), however, there are a few outstanding items that are not being recommended as able to be addressed via conditions of approval, or that you have not agreed to address.

I think that the application is ready for presentation on March 11, and will likely be ready for action, if the outstanding items can be agreed to and/or addressed. To that end:

In regard to this office's previous comments (dated December 31, 2019) - The majority of this office's previous comments have been addressed. Please see/address the following remaining items, the majority of which, if answered/agreed upon, can ultimately be addressed as conditions of approval, if the Commission is inclined to approve the application:

1. Parking requirements/calculations still have not been entirely addressed. If information/explanation is provided at the meeting or prior (preferably prior), this can be addressed as a condition of approval that the information provided be properly reflected on final plans:
 - The "Off-Site Parking Analysis should account for every building on the site (also please make a note if a building has been torn down) and its use as per the Wallingford Zoning Regulations; the information provided should indicate the uses, and the parking requirements indicated should be made consistent with the requirements and uses listed in the Wallingford Zoning Regulations. This must be addressed prior to the meeting in order for this office to confirm compliance proposed use of 528 South Cherry Street. To this end, please also update/clarify the information on sheets OSP-1 and OSP-2.
 - As discussed, please provide information/an explanation regarding the 354 proposed van parking spaces vs. the representation that 130 DSP (on-site) vans will be utilized during standard operations (maximum of 175), and a maximum of 275 DSP vans will be utilized during peak sales times (dates as represented).
 - At the meeting, or previously, please explain how all parking needs for employees are met. Specifically: how is parking provided for building staff, managers, site marshals, etc.? There appear to be an insufficient number of spaces on site for the number of employees as represented; where will they park? Also, as requested, please account for the van terminal area in regard to parking; how are the parking needs of the drivers accommodated?
 - Although only the Executive Summary was initially requested, please provide 8 copies of the portion of the Traffic Report that was not included in the Executive Summary, excluding the Appendices, for the Commission.
1. The only architectural improvements that are being proposed appear to be the removal and bricking over of 2-3 of the bay doors along South Cherry Street. It is this office's opinion that this proposal is insufficient.
2. The following remaining comments can be addressed as conditions of approval:
 - Remove non-compliant signage from final plans, including detail sheets.
 - Final plans should not show any new above-ground utility poles, other than replacement poles; previously shown new utility pole in the vicinity of South Cherry Street and Ball Street to be removed.

WALLINGFORD

- Final plans to include name and contact number of Sedimentation and Erosion control contact person.
 - Sedimentation and Erosion control bond in the amount of \$(amount to be calculated by Town Planner and provided).
1. As is typical, this office will also recommend conditions of approval to the Planning and Zoning Commission regarding representations made and documents provided, particularly in regard to operations, numbers of vans/vehicles, etc.

In response to the additional submittal, regarding the inclusion of 243 van spaces at 528 South Cherry, this office has the following comments/questions:

1. Please explain the drainage system for the current lot.
2. This office will not support the closing of a driveway simply by means of concrete barriers in the Town right-of-way. This should be properly closed via installation of curbing, etc. This can be addressed as a condition of approval.
3. See comments above regarding traffic/operations.
4. You have added a proposed driveway onto South Cherry Street. Please explain during your presentation how this will operate. This office will recommend a condition of approval that, if vans utilizing the driveway to South Cherry Street back up onto South Cherry Street at any time, this curb cut will be required to be closed, the driveway removed, and the area restored to grass.

In regard to comments from other Departments/Traffic Peer Reviewer:

1. It is this office's understanding that most comments from **Engineering** can be made conditions of approval; however, there is an outstanding item regarding the width of the exit drive from the building that has not been addressed, and that the Engineering Department feels must be addressed. This office anticipates that the Town Engineer will be issuing a letter regarding this matter.
2. It is this office's understanding that most comments from the **Water and Sewer Divisions** can be made conditions of approval; however, there is an outstanding item regarding fire flow estimates that has not been addressed, and that the Water and Sewer Divisions feel must be addressed prior to action on this application. This office anticipates that the Senior Engineer from the Water and Sewer Divisions has issued a letter to that effect.
3. All updated information has been passed along to the **Traffic Study Peer Reviewer**; this office anticipates he will be updating his comments based on the new site and information regarding trips/operations. You also have not addressed the improvements recommended by the Peer Reviewer.

Sorry for the long email, but I wanted to try to summarize everything in one place.

If you have any questions, please do not hesitate to contact me.

Regards,
Kacie

--

Kacie A. Hand, AICP
Town Planner
Town of Wallingford
203-294-2090
Fax: 203-294-2095
kacie.costello@wallingfordct.gov

Subject Re: FW: 425 South Cherry Street - PZC #414-19
From Erik Krueger <erik.krueger@wallingfordct.gov>
To Dewey, Jeffrey <jdewey@blcompanies.com>
Cc Kacie Hand <kacie.hand@wallingfordct.gov>, Michael Gudelski <MGudelski@wallingfordfd.com>
Date 2020-02-27 3:41 pm



Mr. Dewey,

The drawings you attached to your email below do not address all of the items listed in my letter dated February 27, 2020. These items were also provided to you previously in my memo to Kacie Hand dated January 10, 2020 and my email with attachments dated January 30, 2020.

Please reference the letter for specifics on the conditions we are requesting and please note items 3.a., 3.d. and 4. have not been revised on the drawings

You are correct that the fire flow issue has not been addressed. It is our opinion that this item be addressed before you move forward with the project, including all required Town approvals.

Thank you,

Erik Krueger P.E., Senior Engineer
Wallingford Water & Sewer Divisions
377 South Cherry Street
Wallingford, CT 06492
Phone: 203-949-2672
Fax: 203-949-2678

On 2/27/2020 2:29 PM, Dewey, Jeffrey wrote:

Good afternoon,

Please see below and attached...I had thought all your comments have been resolved with the exception of the fire flow issues.

Please review attached and let me know if this is not the case

Thank you

Jeff

Jeff Dewey, PE
Senior Engineer II
BL Companies | *Employee owned. Client driven.*



355 Research Parkway, Meriden, CT 06450
tel: 203.630.1406 | direct: 203.608.2567
fax: 203.630.2615
www.blcompanies.com

From: Dewey, Jeffrey
Sent: Thursday, January 30, 2020 11:43 AM
To: Erik Krueger <erik.krueger@wallingfordct.gov>
Cc: kacie.hand@wallingfordct.gov; Gagnon, Christopher <cgagnon@Blcompanies.com>
Subject: RE: 425 South Cherry Street - PZC #414-19

Good morning Erik,

Please find attached the revised utility plan and detail sheet showing the FDC as well as the oil/water separator.

Please give me a call when convenient so we may discuss any other project concerns you may have.

Thanks
Jeff

Jeff Dewey, PE
Senior Engineer II
BL Companies | *Employee owned. Client driven.*



355 Research Parkway, Meriden, CT 06450
tel: **203.630.1406** | direct: 203.608.2567
fax: 203.630.2615
www.blcompanies.com

From: Erik Krueger <erik.krueger@wallingfordct.gov>
Sent: Thursday, January 30, 2020 10:15 AM
To: Dewey, Jeffrey <jdewey@Blcompanies.com>
Cc: kacie.hand@wallingfordct.gov
Subject: 425 South Cherry Street - PZC #414-19

Mr. Dewey,

I have not received any response to the comments I sent to you on January 10, 2020 regarding the subject project.

I have attached a copy of the comments for your information.

Comment 1. in the attached memo must be addressed prior to the Planning and Zoning meeting scheduled for February 10, 2020 since the estimated needed fire is not available at the residual pressure requested. It may be necessary to modify the building to reduce the needed fire flow, perform water distribution system upgrades or provide a fire pump in order to provide fire sprinkler protection for the building. Kindly address this item as soon as possible.

Also comment 3. regarding the proposed floor drain in the process area should be addressed so that it can be determined if pretreatment of the discharge will be required and if a motoring manhole needs to be installed.

Please contact me if you have questions.

Thank you,

Erik Krueger P.E., Senior Engineer
Wallingford Water & Sewer Divisions
377 South Cherry Street
Wallingford, CT 06492
Phone: 203-949-2672
Fax: 203-949-2678

On 1/10/2020 10:58 AM, Erik Krueger wrote:

Kacie,

Please see attached comments relative to Mr. Dewey's January 2, 2020 letter.

Thanks,

Erik Krueger P.E., Senior Engineer
Wallingford Water & Sewer Divisions
377 South Cherry Street
Wallingford, CT 06492
Phone: 203-949-2672
Fax: 203-949-2678

On 1/7/2020 11:59 AM, Dewey, Jeffrey wrote:

Good afternoon Erik,

Please find attached my response letter to your information requests and review comments for the above reference project.

Please feel free to contact me at your convenience with any additional questions or comments.

Thanks
Jeff

Jeff Dewey, PE
Senior Engineer II
BL Companies | *Employee owned. Client driven.*



Architecture
Engineering
Environmental
Land Surveying

Companies

355 Research Parkway, Meriden, CT 06450
tel: 203.630.1406 | direct: 203.608.2567
fax: 203.630.2615



Town of Wallingford, Connecticut

414-19X

NEIL H. AMWAKE, P.E.
GENERAL MANAGER



DEPARTMENT OF PUBLIC UTILITIES
WATER & SEWER DIVISIONS
377 SOUTH CHERRY STREET
WALLINGFORD, CONNECTICUT 06492
TELEPHONE 203-949-2666

February 27, 2020

Jeffrey Dewey, P.E.
BL Companies
355 Research Parkway
Meriden, CT 06450

Re: Special Permit Application 414-19
425 South Cherry Street, Wallingford, Connecticut

Dear Mr. Dewey;

As was previously requested in my January 10, 2020 memorandum to Town Planner Kacie Hand and in my email to you on January 30, 2020 the following items were requested to be addressed as part of the subject application but still have not been resolved to the satisfaction of the Water and Sewer Divisions.

1. Needed Fire Flow

The estimated fire sprinkler demand for the proposed modified building provided by your office is 1,500 gpm with a 150 psi residual pressure requirement. This needed fire flow *cannot* be supplied at the residual pressure specified from the water distribution system at this location. We recently performed a fire flow test across the street from this location which indicated the available fire flow in the area is approximately 960 gpm with a residual of 103 psi.

Previous fire flow tests in the area performed in January 2008 indicate that the absolute maximum fire flow available from the existing water distribution system in this particular area is 2,150 gallons per minute while maintaining a minimum residual pressure of approximately 25 psi.

The fire sprinkler system for the proposed modified building must be designed to operate utilizing the available fire flow at this location including a reasonable factor of safety. If it is not possible to design the fire sprinkler system to operate under the available fire flow conditions, then it may be necessary to modify the building to reduce the needed fire flow or provide a fire pump to meet the proposed estimated needed fire flow at the required residual pressure.

The applicant must determine how the needed fire flow will be delivered to the site and must agree to provide and pay for all needed water distribution system upgrades, pumps or modifications to the proposed building in order to obtain Wallingford Water and Sewer Division sign-off for a building permit.

It is our opinion that it is in the best interest of your client to determine what will be required to provide the needed fire flow to the building before moving ahead with the project, including all required Town approvals.

2. Domestic Water Service

As noted previously, the existing 5/8-inch water meter will not be adequate for the proposed demand associated with the modified building and a new larger water meter will be required. In addition, the proposed drawings indicate the existing 1-inch copper

414-414

domestic service be replaced with a 4-inch DIP water service which will be more than adequate.

The Applicant must acknowledge that all connection charges and meter fees for the new larger meter and water service will be required to be paid prior to connecting the new water and sewer utility services to the building.

3. Non-domestic Wastewater Discharge

The Site Utility Drawing SU-1 was revised to include an oil/water separator to provide pretreatment of the discharge associated with the floor drain. The following items were previously requested to be included in the proposed plan but have yet to be addressed:

- a. The details of the oil-water separator shown on drawing DN-6 must be revised to show the Sewer Standard Detail STS-27 for Sanitary Sewer Oil/Water Separator Tanks, copy attached.
- b. The applicant will need to provide sizing calculations of the proposed oil-water separator for review and approval by the Wallingford Sewer Division.
- c. A wastewater discharge survey must be submitted and all pre-treatment devices and all necessary permits, including Connecticut Department of Energy and Environmental Protection discharge permit registrations, must be in place prior to discharge.
- d. A monitoring manhole is required to be installed on the sanitary sewer lateral near the street line. The manhole frame and cover detail shall be revised to reference Sewer Standard Detail STS-29 for private manholes, copy attached.

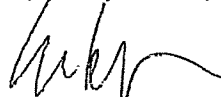
The Applicant must acknowledge that all of the requirements for the non-domestic wastewater discharge must be addressed prior to obtaining permits for the water and sewer connections to the building.

4. Sanitary Sewer Lateral Connection

The note regarding the connection of the new sanitary sewer lateral to the deep sanitary sewer main shall be revised to include the following language, "If the existing chimney connection is not suitable for reuse, the lateral shall be connected directly to the existing main in accordance with the requirements shown on Sewer Standard Detail STS-18B", copy attached.

Kindly contact this office if you have questions regarding this mater.

Very Truly Yours,



Erik A. Krueger, P.E.
Senior Engineer

- cc: Kacie Hand / Tom Talbot, Planning and Zoning
 Michael Gudelski, Fire Marshal
 Neil H. Amwake, P.E., General Manager
 Richard Vanski, Water Superintendent
 Dan Sullivan, Assistant Sewer Superintendent

XP1-414

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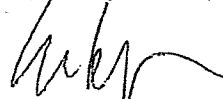
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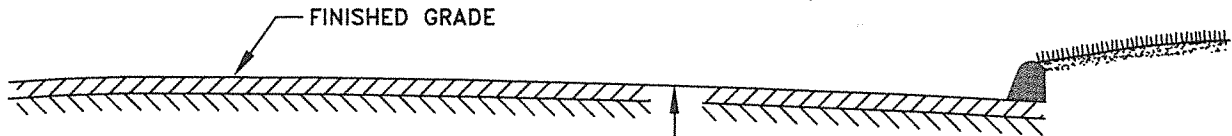
Kindly contact this office if you have questions regarding this mater.

Very Truly Yours,



Erik A. Krueger, P.E.
Senior Engineer

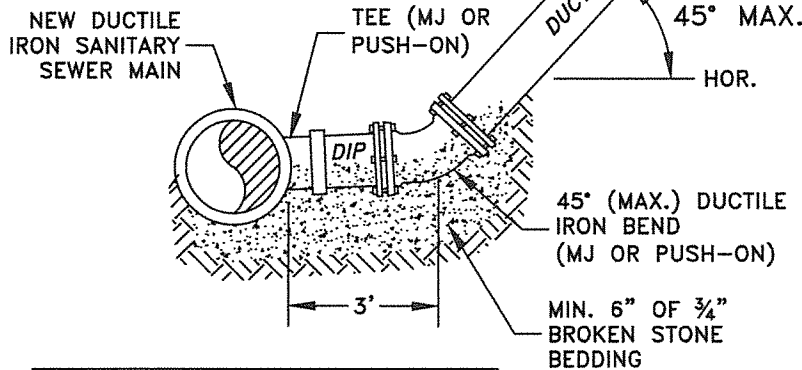
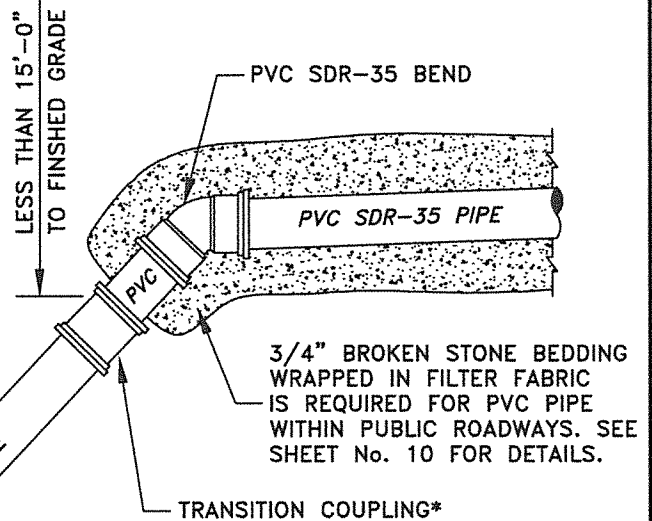
- cc: Kacie Hand / Tom Talbot, Planning and Zoning
 Michael Gudelski, Fire Marshal
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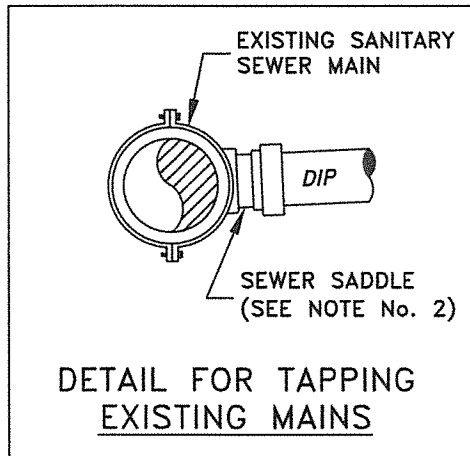
***METHOD OF TRANSITION:**

1. C-900 x SDR-35 ADAPTER COUPLING (BELL x BELL)
 4" DIA. = HARCO #34055
 6" DIA. = HARCO #34044
 OR APPROVED EQUAL.
2. DUCTILE IRON MECHANICAL JOINT SOLID SLEEVE WITH ONE M.J. GASKET AND ONE M.J. x SDR-35 TRANSITION GASKET.
3. TRANSITION TYPE BOLTED PIPE COUPLING
 JCM No. 212, ROMAC STYLE 501, FORD STYLE FC2A OR APPROVED EQUAL
 4" DIA. GASKET O.D.'S = 4.215" PVC x 4.80 DIP
 6" DIA. GASKET O.D.'S = 6.275" PVC x 6.90 DIP

NOTE: FLEXIBLE RUBBER COUPLINGS (FERNCO COUPLINGS) ARE NOT PERMITTED ON DUCTILE IRON PIPE.



DETAIL
N.T.S.



NOTES:

NO PVC PIPE SHALL BE USED FOR SANITARY SEWER LATERALS AT A DEPTH GREATER THAN 15'-0".

WHEN CONNECTING TO A PUBLIC SEWER MAIN, THE MIN. PIPE DIA. OF THE LATERAL SHALL BE 6".

WHEN CONNECTING TO A PRIVATE SEWER MAIN, THE MIN. PIPE DIA. OF THE LATERAL SHALL BE 4".

D:\DRAWINGS\SEWER\TECHSTD\STS18B Gravity San. Lat. Over 15' deep.dwg

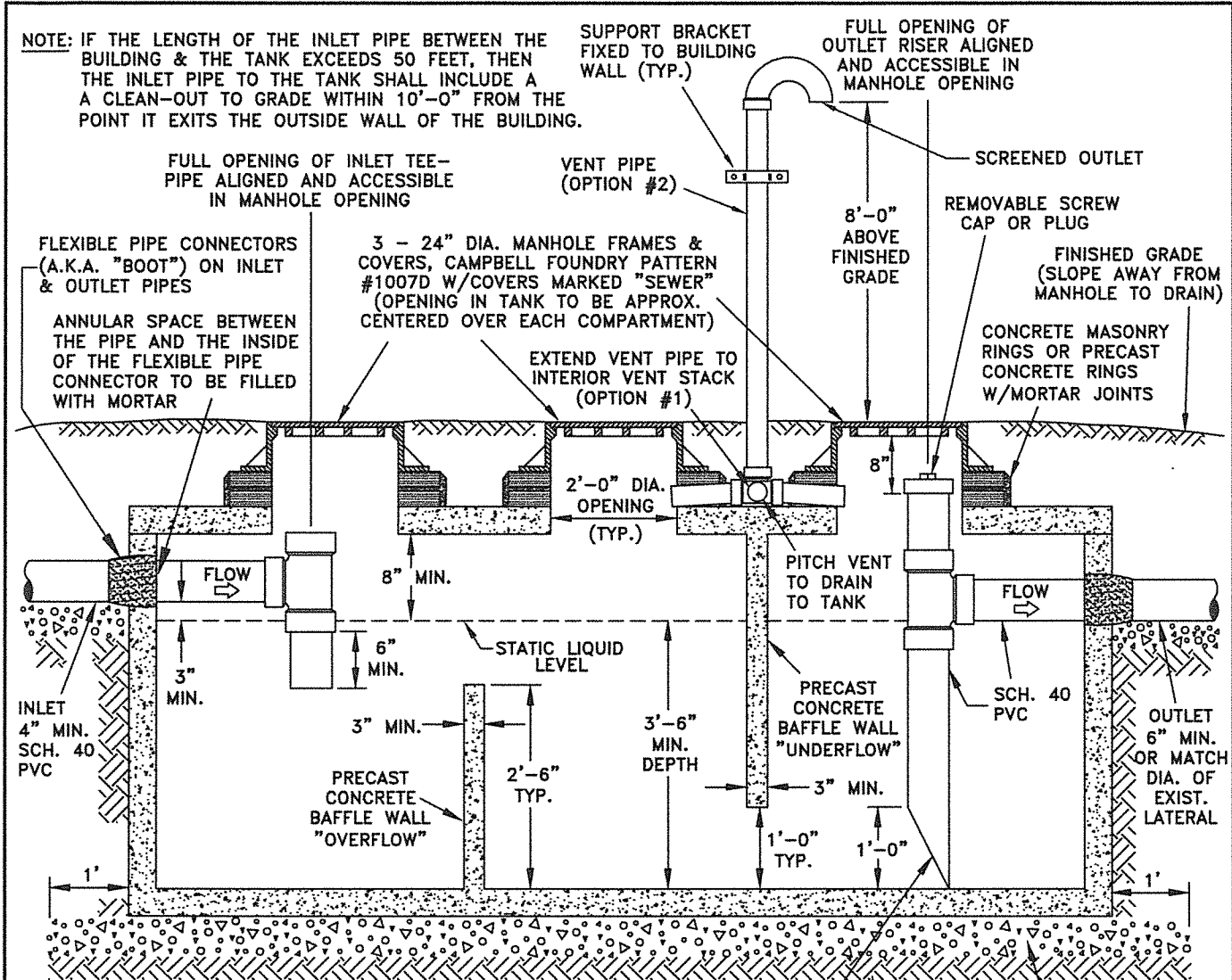
TAPPING OF EXISTING MAINS:

1. A SHELL CUTTER SHALL BE USED TO CORE A NEAT HOLE IN THE EXISTING PUBLIC SEWER MAIN TO ACCOMODATE THE BUILDING LATERAL.
2. ALL SEWER SADDLES SHALL BE ROMAC STYLE "CB" OR SEALTITE WITH GASKETED BELL TO ACCEPT DUCTILE IRON PIPE OR APPROVED EQUAL.

Town of Wallingford, Connecticut
 DEPARTMENT OF PUBLIC UTILITIES
 SEWER DIVISION

GRAVITY SANITARY SEWER
 LATERAL INSTALLATION AT
 DEPTHS GREATER THAN 15'

SCALE:	DATE:	DRAWN BY:	SHEET NO.:	IDENT. NO.:
N.T.S.	3-22-05	TF	18B	STS-18B



NOTE: IF THE LENGTH OF THE INLET PIPE BETWEEN THE BUILDING & THE TANK EXCEEDS 50 FEET, THEN THE INLET PIPE TO THE TANK SHALL INCLUDE A CLEAN-OUT TO GRADE WITHIN 10'-0" FROM THE POINT IT EXITS THE OUTSIDE WALL OF THE BUILDING.

FULL OPENING OF INLET TEE-PIPE ALIGNED AND ACCESSIBLE IN MANHOLE OPENING

FLEXIBLE PIPE CONNECTORS (A.K.A. "BOOT") ON INLET & OUTLET PIPES

ANNULAR SPACE BETWEEN THE PIPE AND THE INSIDE OF THE FLEXIBLE PIPE CONNECTOR TO BE FILLED WITH MORTAR

3 - 24" DIA. MANHOLE FRAMES & COVERS, CAMPBELL FOUNDRY PATTERN #1007D W/COVERS MARKED "SEWER" (OPENING IN TANK TO BE APPROX. CENTERED OVER EACH COMPARTMENT)

SUPPORT BRACKET FIXED TO BUILDING WALL (TYP.)

FULL OPENING OF OUTLET RISER ALIGNED AND ACCESSIBLE IN MANHOLE OPENING

VENT PIPE (OPTION #2)

SCREENED OUTLET

8'-0" ABOVE FINISHED GRADE

REMOVABLE SCREW CAP OR PLUG

FINISHED GRADE (SLOPE AWAY FROM MANHOLE TO DRAIN)

CONCRETE MASONRY RINGS OR PRECAST CONCRETE RINGS W/MORTAR JOINTS

EXTEND VENT PIPE TO INTERIOR VENT STACK (OPTION #1)

2'-0" DIA. OPENING (TYP.)

PITCH VENT TO DRAIN TO TANK

8" MIN.

6" MIN.

3" MIN.

STATIC LIQUID LEVEL

PRECAST CONCRETE BAFFLE WALL "UNDERFLOW"

SCH. 40 PVC

OUTLET 6" MIN. OR MATCH DIA. OF EXIST. LATERAL

3" MIN.

2'-6" TYP.

PRECAST CONCRETE BAFFLE WALL "OVERFLOW"

3'-6" MIN. DEPTH

3" MIN.

1'-0" TYP.

1'-0"

NOTES:

1. THE TANK SHALL BE DESIGNED TO SUPPORT HS-20-44 LOADING.
2. THE MINIMUM REQUIRED LIQUID STORAGE CAPACITY SHALL BE 1,000 GALS. AS MEASURED TO THE STATIC LIQUID LEVEL.
3. ALL INTERIOR SURFACES SHALL BE COATED WITH AN EPOXY BASED, PETROLEUM RESISTANT SEALANT. EXTERIOR SURFACES SHALL BE COATED WITH A COAL TAR PITCH TYPE DAMP PROOFING SEALANT.
4. THE HORIZONTAL STRUCTURAL SEAM (BETWEEN THE TOP SLAB & TANK BOTTOM) SHALL BE LOCATED ABOVE THE STATIC LIQUID LEVEL & SHALL BE SEALED WITH A BUTYL RUBBER GASKET.
5. AFTER ASSEMBLY OF TANK IS COMPLETE ALL EXTERIOR & INTERIOR JOINT SPACES SHALL BE FILLED WITH A NON-SHRINK GROUT AND THEN THE INTERIOR JOINTS SHALL BE COATED WITH AN EPOXY BASED, PETROLEUM RESISTANT SEALANT AND EXTERIOR JOINTS SHALL BE COATED WITH AN ASPHALTIC BASED WATERPROOF SEALANT.
6. ALL INTERIOR PIPING SHALL BE P.V.C.-SCHEDULE 40 WITH SOLVENT WELD JOINTS AND FITTINGS.
7. IF MANHOLE OPENINGS FALL IN GRASS OR UNPAVED AREA, MANHOLE COVER SHALL BE BOLT-DOWN, GASKETED & WATERTIGHT CAMPBELL FOUNDRY PATTERN #1007D.
8. SEE STANDARD DETAIL SHEET 18A & 18B FOR MANHOLE FRAMES & COVERS FOR USE ON GREASE TRAP & OIL WATER SEPARATOR TANKS.

END OF DROP PIPE TO BE CUT ON BEVEL TO 1'-0" ABOVE FLOOR. THE POINT OF THE BEVEL IS TO REST ON THE FLOOR.

UNDISTURBED SOIL

6" OF 3/4" BROKEN STONE BEDDING

VENT PIPES SHALL BE:

- OPTION #1 (PREFERRED METHOD) - EXTENDED BACK INTO THE BUILDING AND CONNECTED TO AN APPROVED INTERIOR VENT STACK; OR
- OPTION #2 - SECURED TO THE OUTSIDE WALL OF THE BUILDING WITH PIPE BRACKETS AND EXTENDED TO 8'-0" ABOVE FINISHED GRADE AND TERMINATED IN A SCREENED DOWNTURNED 180° BEND OR AN APPROVED VENT CAP
- PVC SCH. 40 WITH SOLVENT WELD JOINTS
- 1/2 THE DIAMETER OF THE OUTLET PIPE BUT NO LESS THAN 3" DIAMETER PIPE
- CONNECTED AND GRADED TO PITCH BACK TO THE TANK BY GRAVITY

D:\DRAWINGS\SEWER\TECHSTD\STS27 Sanitary Oil Water Separator.dwg

Town of Wallingford, Connecticut
 DEPARTMENT OF PUBLIC UTILITIES
 SEWER DIVISION

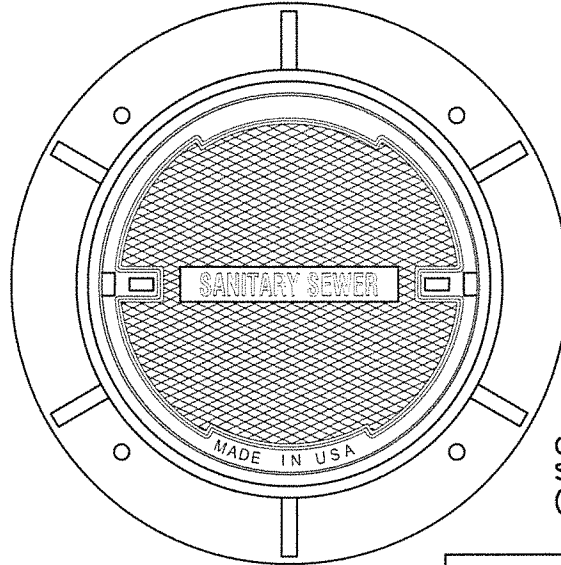
**STANDARD DETAILS FOR
 SANITARY SEWER OIL/WATER
 SEPARATOR TANKS**

SCALE: N.T.S.	DATE: 3-22-05	DRAWN BY: TF	SHEET NO.:# 27	IDENT. NO.:# STS-27
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UNITS TO BE DIP COATED
IN ASPHALTUM PAINT

COVER SHALL HAVE
NON-PENETRATING
PICK HOLES

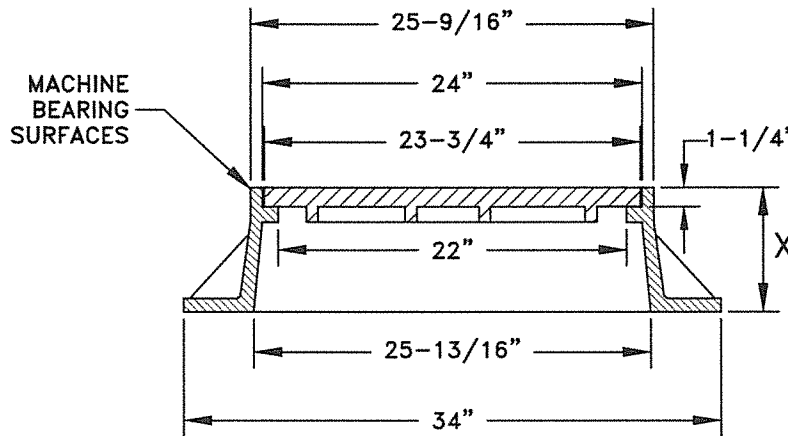
COVER SHALL NOT
HAVE VENT HOLES



MATERIAL: GRAY CAST IRON
PER A.S.T.M. A48-83,
CLASS 30B

CASTINGS SHALL BE DESIGNED TO
SAFELY WITHSTAND AASHTO HS20-44
(MS18) HIGHWAY LOADS

X = 8" FRAME #10494612/1248
6" FRAME #10494702/1246
4" FRAME #10494652/1244
COVER #1049/1248



PATTERN
#1049/1248
N.T.S.

NOTES:

1. THIS TYPE FRAME AND COVER SHALL BE INSTALLED ON ALL MANHOLES LOCATED IN PAVED AREAS WITH CROSS SLOPES THAT CARRY STORMWATER AWAY FROM THE MANHOLE. ALL OTHER CONDITIONS MUST USE A HEAVY DUTY, BOLT-DOWN AND GASKETED WATERTIGHT MANHOLE FRAME AND COVER. SEE SHEET No. 30.
2. HEAVY DUTY MANHOLE FRAME AND COVER SHALL BE PATTERN #1049/1248 MANUFACTURED BY CAMPBELL FOUNDRY CO., OR APPROVED EQUAL.

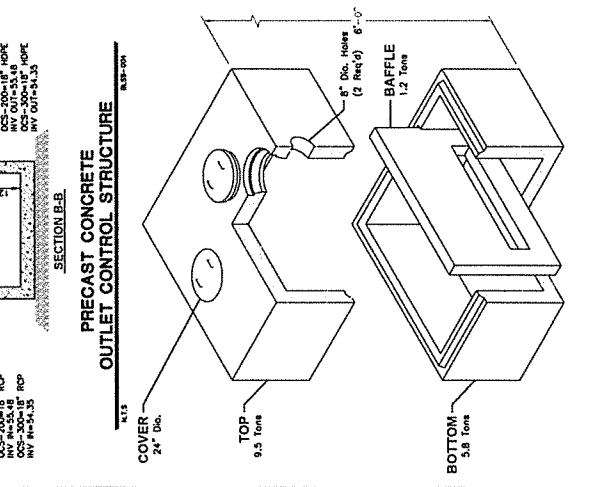
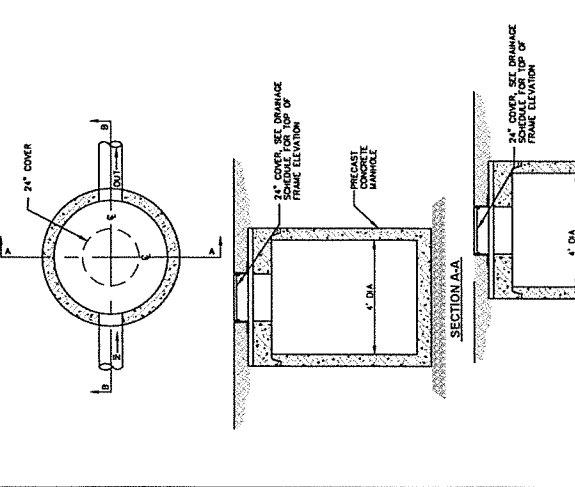
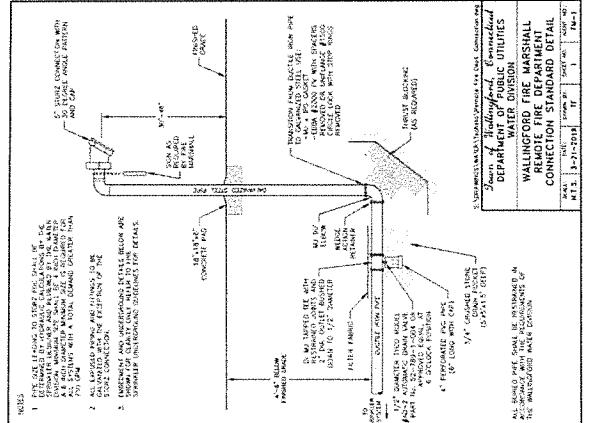
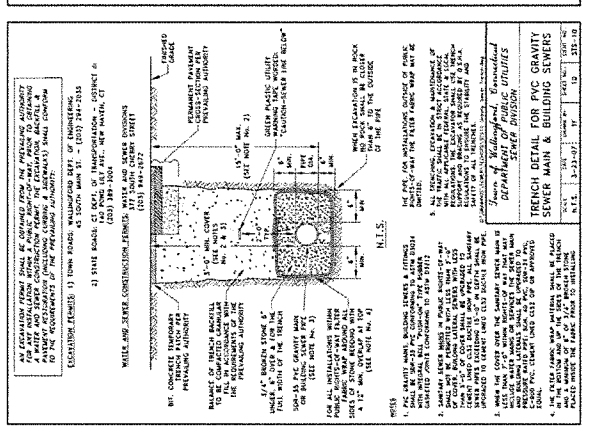
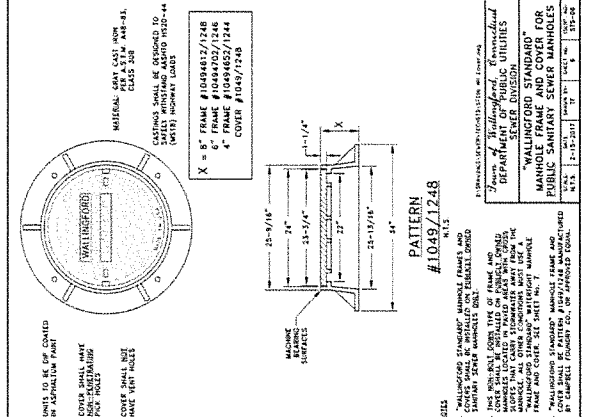
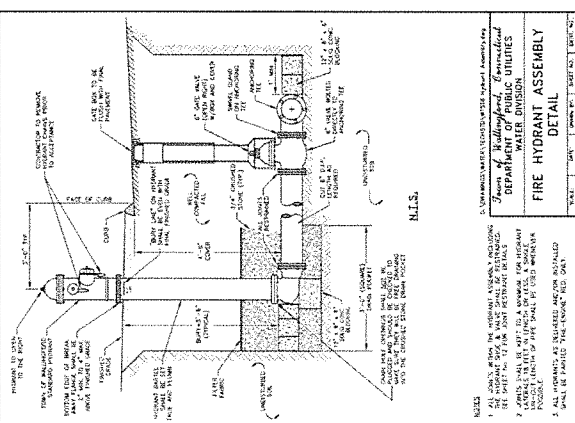
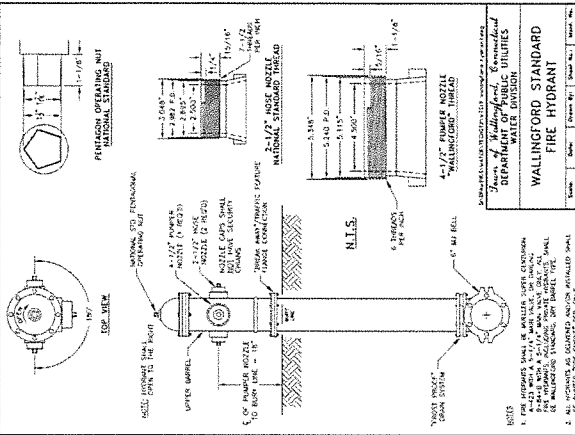
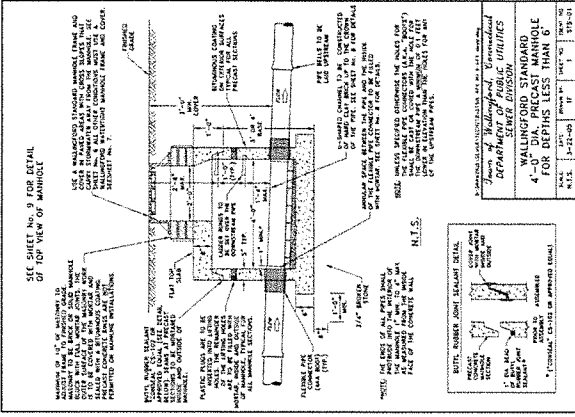
D:\DRAWINGS\SEWER\TECHSTD\STS29 Grease Trap MH Cover.dwg

Town of Wallingford, Connecticut
DEPARTMENT OF PUBLIC UTILITIES
SEWER DIVISION

HEAVY DUTY MANHOLE FRAME AND COVER
FOR PRIVATE MANHOLES, MONITORING
MANHOLES & PRE-TREATMENT TANKS

SCALE: N.T.S.	DATE: 3-27-2017	DRAWN BY: TF	SHEET NO. 1: 29	IDENT. NO. 1: STS-29
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Project No.	425-01
Sheet No.	DN-6
Date	11/20/04
Scale	AS SHOWN
Author	WJG
Checker	WJG
Engineer	WJG



FOR PERMITTING PURPOSES ONLY
 NOT RELEASED FOR CONSTRUCTION

1000 GALLON GREASE TRAP DETAIL

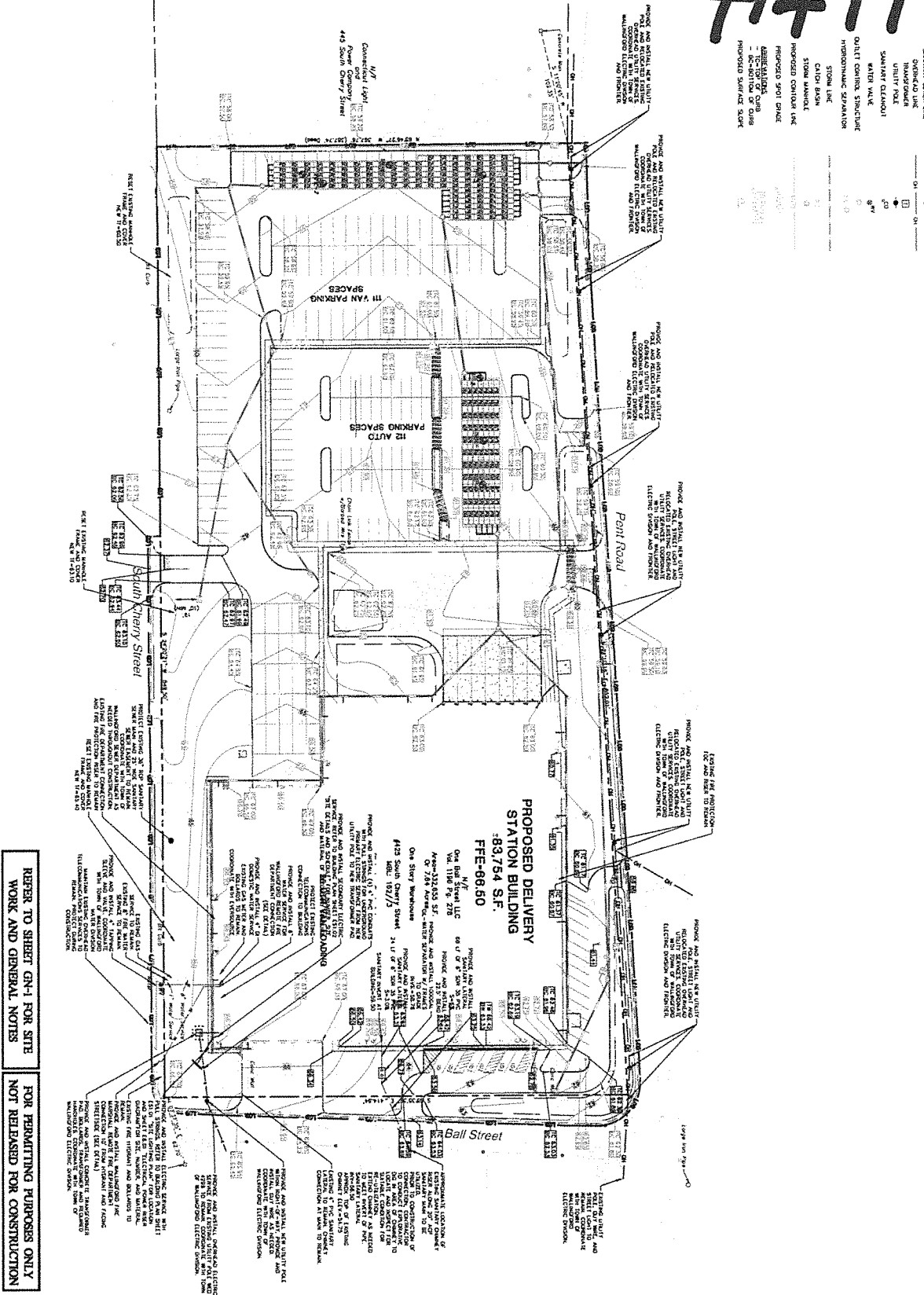
414-194

SITE UTILITIES LEGEND

- PROPERTY LINE AND DISTANCE
- EXISTING GAS LINE
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- EXISTING UTILITY POLE
- EXISTING SANITARY CLEANOUT
- EXISTING WATER VALVE
- EXISTING HYDRO-PNEUMATIC TANK
- EXISTING STORM LINE
- EXISTING CITY BASH
- EXISTING STORM MANHOLE
- EXISTING PROPOSED 30" GAS
- EXISTING PROPOSED 12" WATER
- EXISTING PROPOSED 8" SANITARY
- EXISTING PROPOSED 6" STORM
- EXISTING PROPOSED 4" UTILITY POLE
- EXISTING PROPOSED 3" SANITARY CLEANOUT
- EXISTING PROPOSED 2" WATER VALVE
- EXISTING PROPOSED 1" HYDRO-PNEUMATIC TANK
- EXISTING PROPOSED 1" STORM LINE
- EXISTING PROPOSED 1" CITY BASH
- EXISTING PROPOSED 1" STORM MANHOLE
- EXISTING PROPOSED 1" PROPOSED 30" GAS
- EXISTING PROPOSED 1" PROPOSED 12" WATER
- EXISTING PROPOSED 1" PROPOSED 8" SANITARY
- EXISTING PROPOSED 1" PROPOSED 6" STORM
- EXISTING PROPOSED 1" PROPOSED 4" UTILITY POLE
- EXISTING PROPOSED 1" PROPOSED 3" SANITARY CLEANOUT
- EXISTING PROPOSED 1" PROPOSED 2" WATER VALVE
- EXISTING PROPOSED 1" PROPOSED 1" HYDRO-PNEUMATIC TANK
- EXISTING PROPOSED 1" PROPOSED 1" STORM LINE
- EXISTING PROPOSED 1" PROPOSED 1" CITY BASH
- EXISTING PROPOSED 1" PROPOSED 1" STORM MANHOLE

NOTES

1. REFER TO THE PRELIMINARY ENGINEERING REPORT FOR A COMPLETE LIST OF NOTES, CONDITIONS AND LIMITATIONS OF THIS PLAN. THIS PLAN IS A SUMMARY OF THE INFORMATION CONTAINED IN THE PRELIMINARY ENGINEERING REPORT AND IS NOT TO BE USED AS A BASIS FOR CONSTRUCTION WITHOUT REFERENCE TO THE PRELIMINARY ENGINEERING REPORT.



REFER TO SHEET GN-1 FOR SITE WORK AND GENERAL NOTES

FOR PERMITTING PURPOSES ONLY NOT RELEASED FOR CONSTRUCTION



SU-1

SITE UTILITIES PLAN

PROPOSED DEVELOPMENT
 425 SOUTH CHERRY STREET
 WALLINGFORD, CONNECTICUT





414-19Z

An Employee-Owned Company

February 28, 2020

Erik A. Krueger, P.E., Senior Engineer
Wallingford Water and Sewer Division
377 South Cherry Street
Wallingford, CT 06492

Re: Special Permit Application #414-19
425 South Cherry Street

Dear Mr. Krueger:

We are in receipt of your review comments dated February 27, 2020, regarding the project noted above. Our responses are indicated below in *bold italic* text and are as follows:

1. Needed Fire Flow

The estimated fire sprinkler demand for the proposed modified building provided by your office is 1,500 gpm with a 150 psi residual pressure requirement. This needed fire flow cannot be supplied at the residual pressure specified from the water distribution system at this location. We recently performed a fire flow test across the street from this location which indicated the available fire flow in the area is approximately 960 gpm with a residual of 103 psi.

Previous fire flow tests in the area performed in January 2008 indicate that the absolute maximum fire flow available from the existing water distribution system in this particular area is 2,150 gallons per minute while maintaining a minimum residual pressure of approximately 25 psi.

The fire sprinkler system for the proposed modified building must be designed to operate utilizing the available fire flow at this location including a reasonable factor of safety. If it is not possible to design the fire sprinkler system to operate under the available fire flow conditions, then it may be necessary to modify the building to reduce the needed fire flow or provide a fire pump to meet the proposed estimated needed fire flow at the required residual pressure.

The applicant must determine how the needed fire flow will be delivered to the site and must agree to provide and pay for all needed water distribution system upgrades, pumps or modifications to the proposed building in order to obtain Wallingford Water and Sewer Division sign-off for a building permit.

It is our opinion that it is in the best interest of your client to determine what will be required to provide the needed fire flow to the building before moving ahead with the project, including all required Town approvals.

Response: Following up on our phone conversation this morning; we acknowledge that the existing street pressure of the water system is likely not sufficient for the necessary sprinkler demand. Please see our Attachment-1: current design calculations and pressure test information gathered from the site as performed by BL Companies. Based on our analysis, which assumes worst case ESFR system, a fire pump is likely required. The Full Fire Protection system is currently being designed by Red Hawk Fire and Security for the anticipated use. Their final drawings, hydraulic calculations and incoming service diagrams will all be submitted to the Fire Marshal and Building Official for their approval prior to installation. A copy of all will be provided to your office if required at that time so that service applications can be completed.

2. Domestic Water Service

As noted previously, the existing 5/8-inch water meter will not be adequate for the proposed demand associated with the modified building and a new larger water meter will be required. In addition, the proposed drawings indicate the existing 1-inch copper domestic service be replaced with a 4-inch DIP water service which will be more than adequate.

The Applicant must acknowledge that all connection charges and meter fees for the new larger meter and water service will be required to be paid prior to connecting the new water and sewer utility services to the building.

Response: It is understood that all connection charges and meter fees for the new water meter and service will be paid prior to connecting the new water and sewer services to the building.

3. Non-domestic Wastewater Discharge

The Site Utility Drawing SU-1 was revised to include an oil/water separator to provide pretreatment of the discharge associated with the floor drain. The following items were previously requested to be included in the proposed plan but have yet to be addressed:

- a. The details of the oil-water separator shown on drawing DN-6 must be revised to show the Sewer Standard Detail STS-27 for Sanitary Sewer Oil/Water Separator Tanks, copy attached.

Response: The details of the oil-water separator will be revised to show the Wallingford Sewer Standard Detail STS-27.

- b. The applicant will need to provide sizing calculations of the proposed oil-water separator for review and approval by the Wallingford Sewer Division.

Response: The oil/water separator does not have specific sizing calculations based upon its use for this facility. The separator is employed to provide treatment to the wash-water associated with a floor scrubber. The floor scrubber is a relatively small piece of equipment utilized to literally scrub the concrete and related surfaces. We anticipate use requiring approximately 30 gallons 3-times each day. Total anticipated flow into the oil/water separator is approximately 90 gallon/day. The

amount of oils anticipated in each washing will be a fraction of the water used in each washing. Considering 630 gallons of wash-water per week will be directed to the separator, with a fraction being oil or related floatable, the 1,000-gallon capacity should be more than ample to handle the proposed site application.

A mutually agreed inspection schedule to assure the function of the separator is not compromised may be the prudent approach.

Further note that the manufacturer providing the tank will have to professionally sign and seal the design.

- c. A wastewater discharge survey must be submitted and all pre-treatment devices and all necessary permits, including Connecticut Department of Energy and Environmental Protection discharge permit registrations, must be in place prior to discharge.

Response: Prior to sanitary discharge, wastewater discharge survey, all pre-treatment devices and all necessary permits including the Connecticut Department of Energy and Environmental Protection discharge permit registration shall be in place.

- d. A monitoring manhole is required to be installed on the sanitary sewer lateral near the street line. The manhole frame and cover detail shall be revised to reference Sewer Standard Detail STS-29 for private manholes, copy attached.

Response: The plans will be revised to include a monitoring manhole on the sanitary sewer lateral near the street line. The Wallingford standard detail STS-29 for private manholes will be included on the revised plans.

The Applicant must acknowledge that all of the requirements for the non-domestic wastewater discharge must be addressed prior to obtaining permits for the water and sewer connections to the building.

4. Sanitary Sewer Lateral Connection


The note regarding the connection of the new sanitary sewer lateral to the deep sanitary sewer main shall be revised to include the following language, "If the existing chimney connection is not suitable for reuse, the lateral shall be connected directly to the existing main in accordance with the requirements shown on Sewer Standard Detail STS-18B", copy attached.

Response: The deep sanitary sewer main note and detail STS-18B will be added to the plans.



We trust this addresses your concerns. Should you require additional information, please feel free to contact me at 203-630-1406.

Sincerely,



Jeffrey Dewey, P.E.
Senior Engineer

cc: Kacie Hand, Town Planner

ATTACHMENT-1
Hydraulic Calculations

HYDRAULIC CALCULATIONS
for

Project name: DOB2
Location: 425 South Cherry Street Wallingford, CT
Drawing no:
Date:

Design

Remote area number: 1
Remote area location:
Occupancy classification:
Density: 0.15 - Gpm/SqFt
Area of application: 1500 - SqFt
Coverage per sprinkler: 100 - SqFt
Type of sprinklers calculated: ESFR
No. of sprinklers calculated: 12
In-rack demand: 0 - GPM
Hose streams: 250 - GPM
Total water required (including hose streams): 1474.23 - GPM @ 149.254 - Psi
Type of system:
Volume of dry or preaction system: - Gal

Water supply information

Date:
Location:
Source:

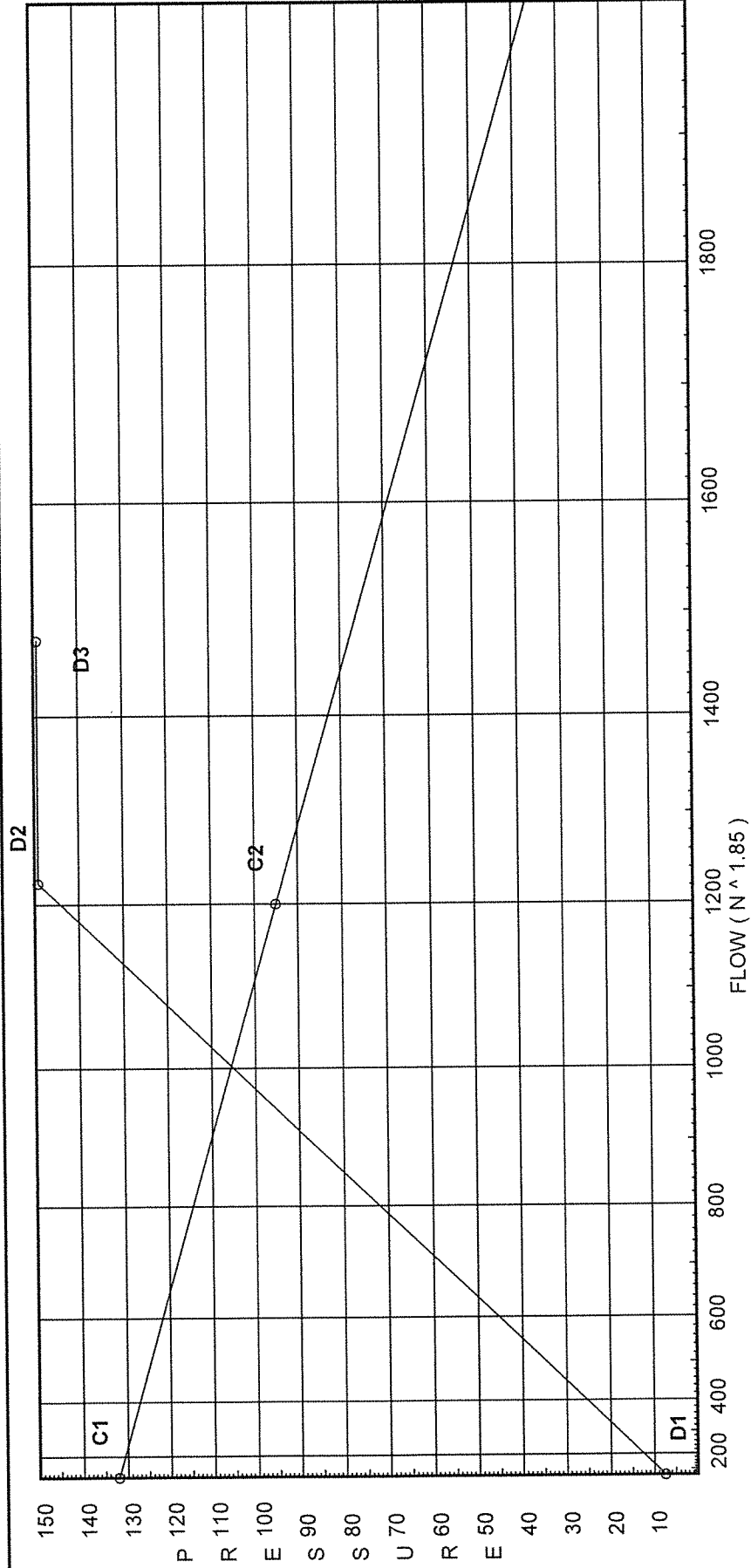
Name of contractor: BL Companies
Address: 355 Research Parkway / / Meriden, CT 06450
Phone number:
Name of designer:
Authority having jurisdiction:
Notes: (Include peaking information or gridded systems here.)

Water Supply Curve C

BL Companies
1901304-Warehouse calcs

City Water Supply:
C1 - Static Pressure : 132
C2 - Residual Pressure: 95
C2 - Residual Flow : 1200

Demand:
D1 - Elevation : 7.475
D2 - System Flow : 1224.23
D2 - System Pressure : 149.254
Hose (Demand) : 250
D3 - System Demand : 1474.23
Safety Margin : -71.399



System #1

RED HAWK FIRE & SECURITY

THIS AREA EQUIPPED WITH:

- WET SYS.
- DRY SYS.
- ALARM PRIMER
- PRO-ACTION VALVE
- DELUGE VALVE
- RATE OF RISE VALVE
- THERMAL CONTROL VALVE
- OTHER TYPE VALVE

VALVE SERIAL NO.

	1st	2nd	3rd	4th
ALARM PRIMER	12/15	132		
DELUGE VALVE	NA	15	95	
RATE OF RISE VALVE	1/1	1/1	1/1	
THERMAL CONTROL VALVE	1/1	1/1	1/1	
PRO-ACTION VALVE	1/1	1/1	1/1	
OTHER TYPE VALVE	1/1	1/1	1/1	
NO. LOW POINTS TO BE DRAINED	1/1	1/1	1/1	

NO. LOW POINTS TO BE DRAINED

INSPECTION DATE AND WITNESSED BY		
DATE	WITNESSED BY	WITNESSED BY
2/11/17	TS	
5/1/17	SR	
08-7-2017	JASON	